



## NOTES & SUMMARIES

### INFO FROM CITY OF WESTLAKE VILLAGE MUNICIPAL CODE

Note that in the City of Westlake Village Multi-storied parking structures, subterranean parking, parking decks and single row tuck-under parking is prohibited unless specifically authorized by the Commission as a variance from standards.

Parking Decks. Where permitted, parking decks shall conform to the following City of Westlake Village design requirements:

- The lowest level of a permitted parking deck shall be recessed one half level below grade, or screened with a landscaped berm (including trees) one half level in height.
- Visible decked parking areas shall be landscaped in accordance with City landscape requirements for off-street parking.
- Parking decks shall be designed with perimeter planters installed on the top deck to allow cascading landscaping to screen exposed side wall facades.
- Parking decks shall be of a material and color compatible with adjacent structures. Color shall diminish the visual mass of the structure and shall be either integral or applied to the surface (top) level of all decks in order to reduce glare and minimize visual obstruction.
- Parking decks shall be designed to screen automobile grills from view.

**ELEVATED DECK AREA IS 90,917 SF (LOWER) / 87, 830 SF (UPPER)  
PRELIMINARY FLOOR TO FLOOR HEIGHT 12'**

**UPPER LEVEL: 250 SPACES (301 SF/SPACE)  
LOWER LEVEL 270 SPACES**

**TOTAL EXISTING SURFACE PARKING\* 520 SPACES  
NET PARKING GAIN 211 SPACES (STRUCTURE) + 8 SPACES (SITE)  
TOTAL NET GAIN 220 SPACES  
REVISED OVERALL PARKING 1269 SPACES\*\***

\* PARKING IMPACTED BY THE NEW PARKING STRUCTURE FOOTPRINT  
\*\* THE NET PARKING GAIN ADDED TO EXISTING PARKING TOTAL OF 1049 BY CIVIL ENGINEER

**REQUIRED PARKING:**  
**BUILDING AREA:**  
**BASEMENT: 84,221 SF  
FIRST FLOOR: 170,954 SF  
TOTAL GROSS AREA: 255,175 SF  
REQUIRED PARKING: 1,021 SPACES (4 SPACES/1000 SF)  
CURRENT PARKING PROVIDED: 1,049 SPACES  
PARKING W/DECK INCLUDED: 1,269 SPACES  
FINAL RATIO: 4.9 SPACES/1000 SF**

## ILLUSTRATIVE SITE PLAN

### PROPOSED SINGLE ELEVATED PARKING DECK

31303 AGOURA ROAD WESTLAKE VILLAGE CALIFORNIA

GRAMERCY PROPERTY TRUST, 13 S. BEMISTON AVENUE CALYTON MISSOURI 63105

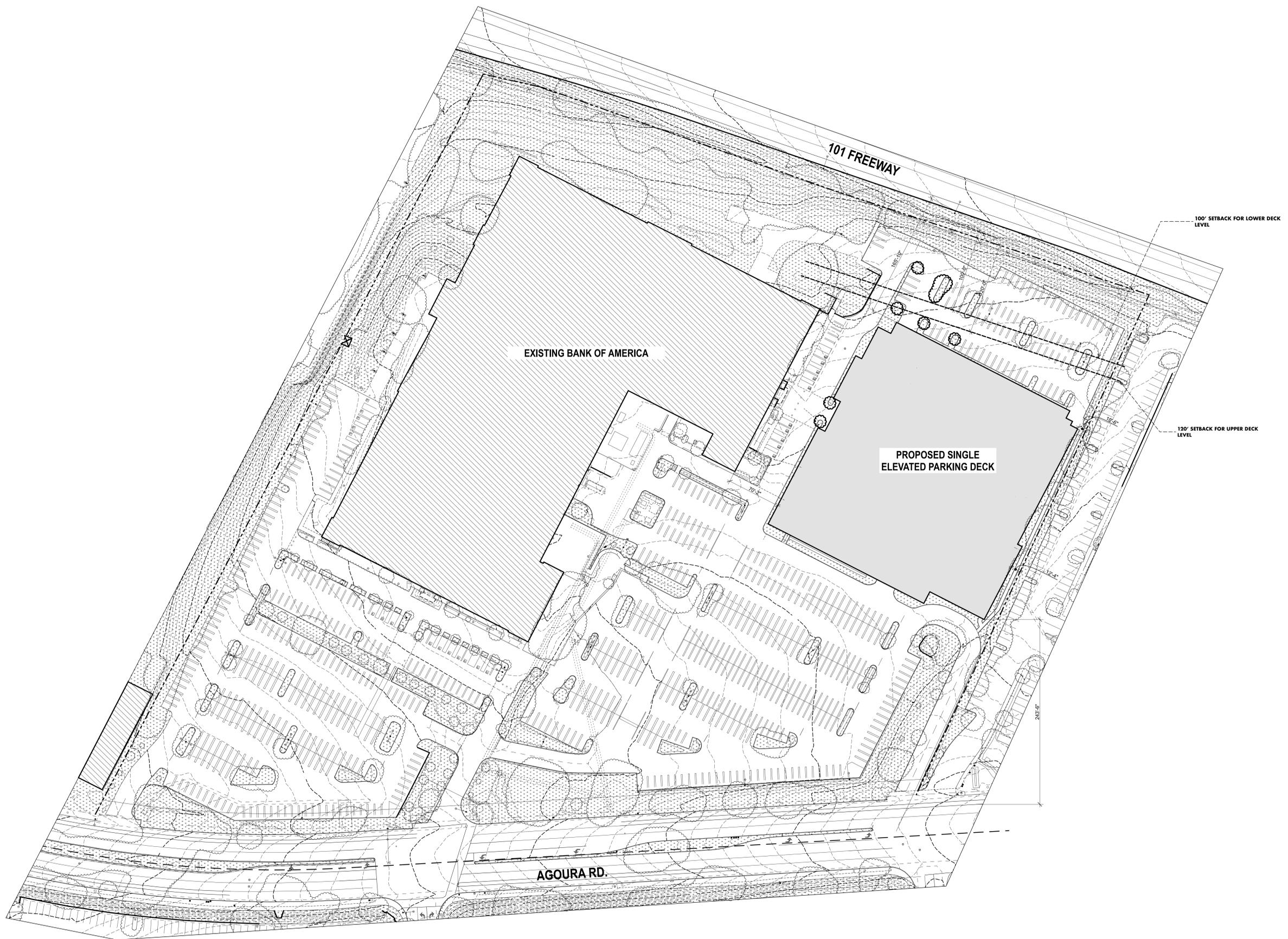
A1

Monday, April 30, 2018

1, 2

- LEGEND:
-  EXISTING BUILDING
  -  NEW PARKING DECK
  -  LANDSCAPE
  -  PROPERTY LINE
  -  SETBACK & EASEMENT

1. PAINTED CONCRETE (COLOR-)
2. METAL GATE & SECURITY GRILL (COLOR-)
3. FREESTANDING PLANTER PAINTED CONCRETE (COLOR-)
4. LIGHT POLES (COLOR TO MATCH EXISTING POLES)
5. DIRECTIONAL SIGNAGE
6. CONCRETE RETAINING WALL
7. CONCRETE DECK
8. CONCRETE PAVING
9. OVERHANGING PLANTER (CONCRETE EXTERIOR FIBERGLASS INTERIOR)



# SITE PLAN

## PROPOSED SINGLE ELEVATED PARKING DECK

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 GRAMERCY PROPERTY TRUST, 13 S. BEMISTON AVENUE CALYTON MISSOURI 63105

**A2**

Monday, April 30, 2018  
 1, 2, 3

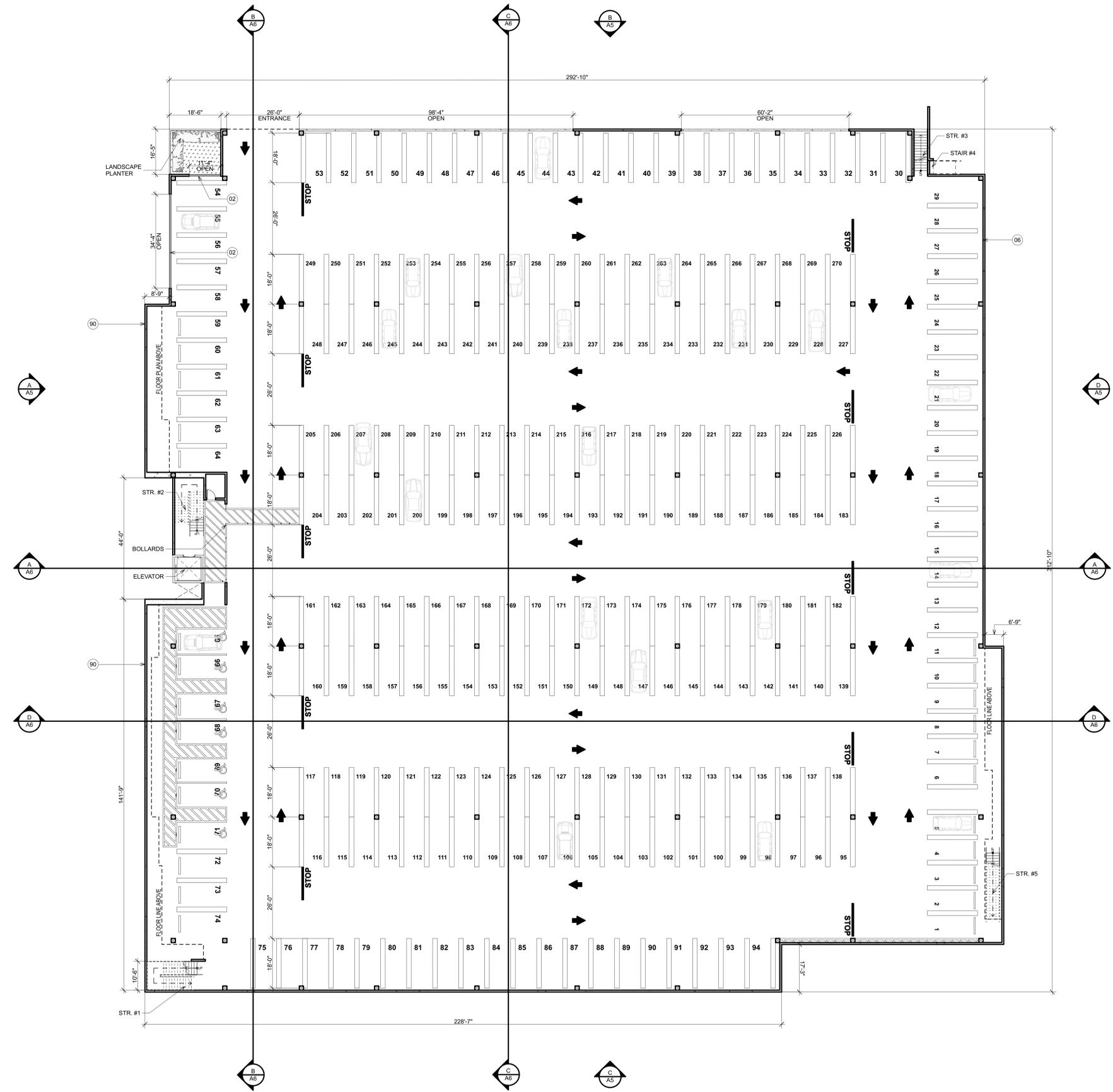
www.behrbrowsers.com  
**BEHR • BROWERS ARCHITECTS INCORPORATED**  
 340 N Westlake Boulevard Suite 250  
 Westlake Village California 91362  
 805 496-1101  
 805 496-1421 Fax

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- LEGEND:
- EXISTING BUILDING
  - NEW PARKING DECK
  - LANDSCAPE
  - PROPERTY LINE
  - SETBACK & EASEMENT

1. PAINTED CONCRETE (COLOR-)
2. METAL GATE & SECURITY GRILL (COLOR-)
3. FREESTANDING PLANTER PAINTED CONCRETE (COLOR-)
4. LIGHT POLES (COLOR TO MATCH EXISTING POLES)
5. DIRECTIONAL SIGNAGE
6. CONCRETE RETAINING WALL
7. CONCRETE DECK
8. CONCRETE PAVING
9. OVERHANGING PLANTER (CONCRETE EXTERIOR FIBERGLASS INTERIOR)



# LOWER DECK PLAN

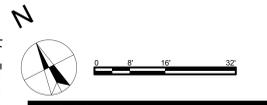
## PROPOSED SINGLE ELEVATED PARKING DECK

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GRAMERCY PROPERTY TRUST, 13 S. BEMISTON AVENUE CALYTON MISSOURI 63105

**A3**

Monday, April 30, 2018

A, 2, 3



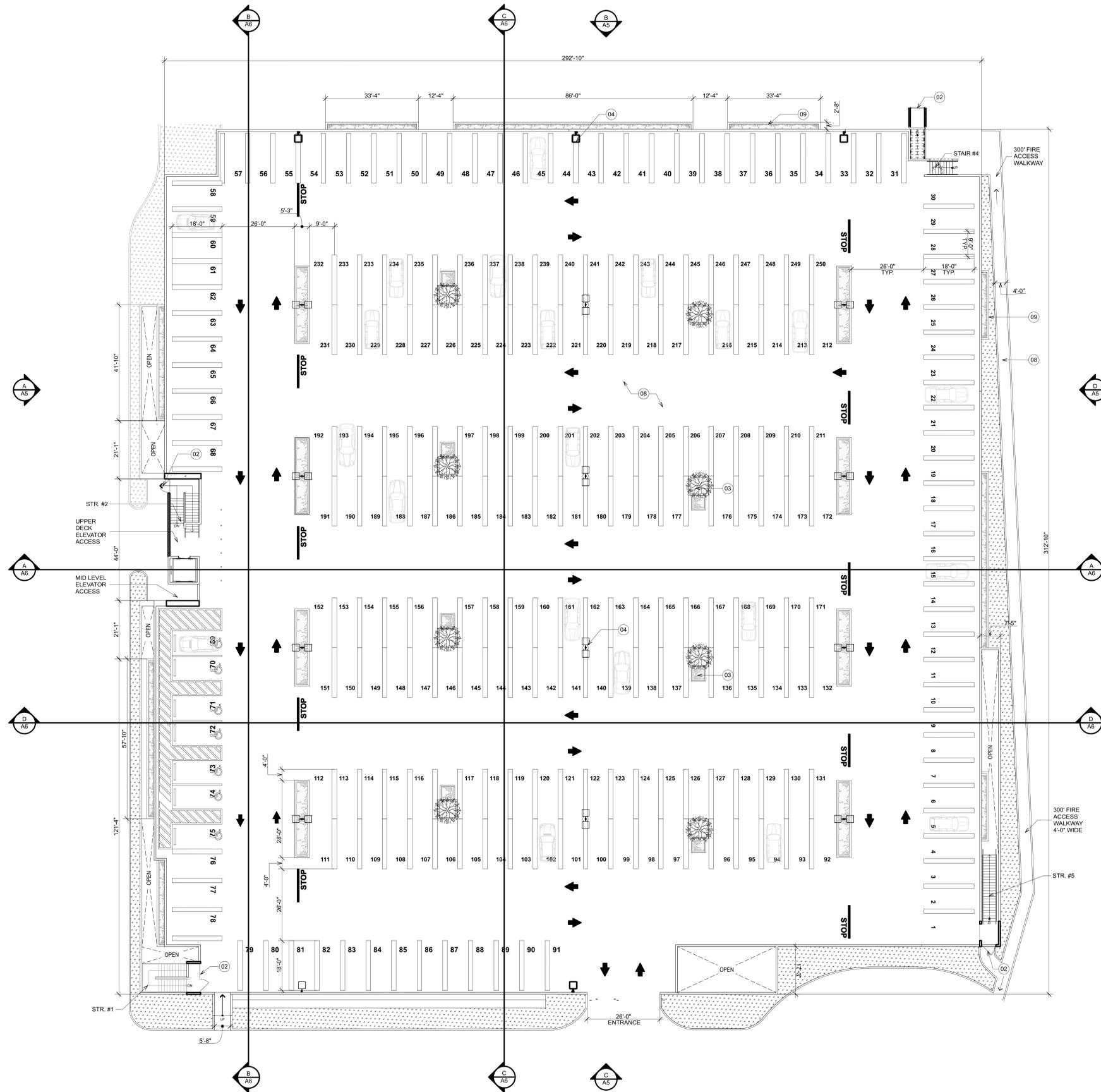
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- LEGEND:
-  EXISTING BUILDING
  -  NEW PARKING DECK
  -  LANDSCAPE
  -  PROPERTY LINE
  -  SETBACK & EASEMENT

1. PAINTED CONCRETE (COLOR-)
2. METAL GATE & SECURITY GRILL (COLOR-)
3. FREESTANDING PLANTER PAINTED CONCRETE (COLOR-)
4. LIGHT POLES (COLOR TO MATCH EXISTING POLES)
5. DIRECTIONAL SIGNAGE
6. CONCRETE RETAINING WALL
7. CONCRETE DECK
8. CONCRETE PAVING
9. OVERHANGING PLANTER (CONCRETE EXTERIOR FIBERGLASS INTERIOR)



# UPPER DECK PLAN

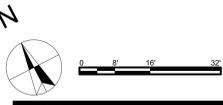
## PROPOSED SINGLE ELEVATED PARKING DECK

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A4

Monday, April 30, 2018

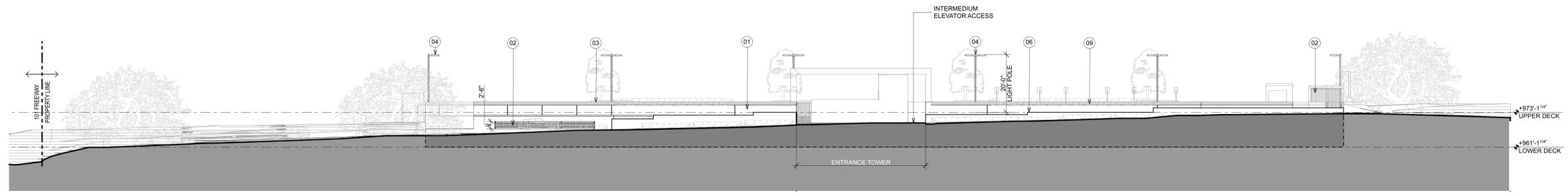
1, A, 3



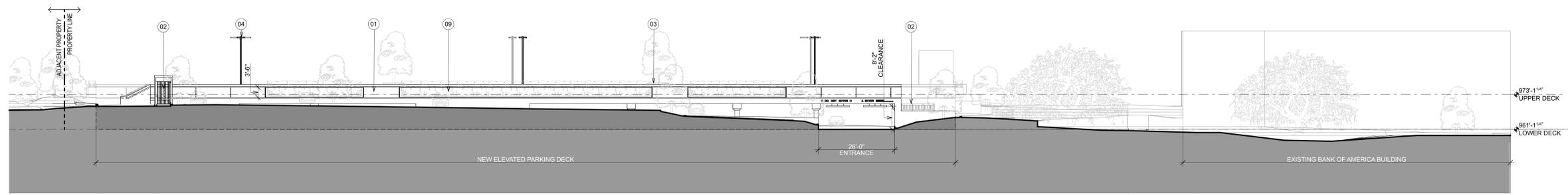
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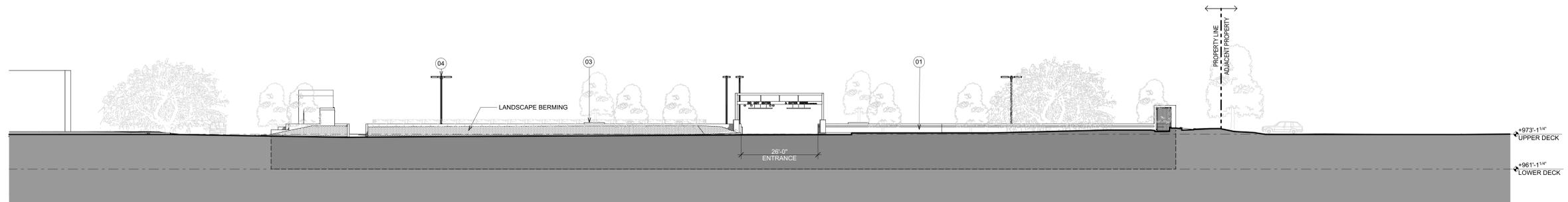
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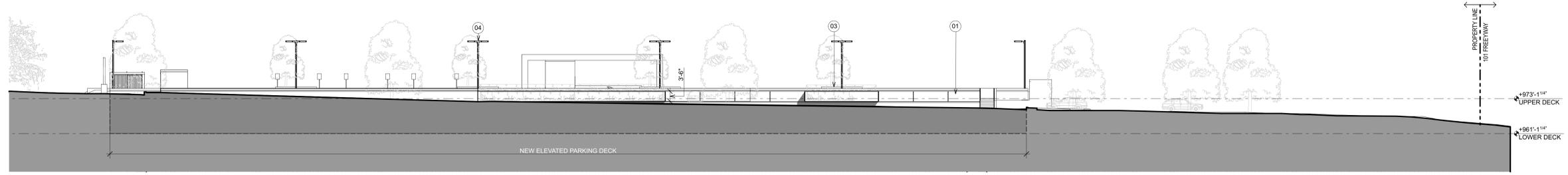
**A WEST ELEVATION**  
SCALE: 1/16" = 1'-0"



**B NORTH ELEVATION**  
SCALE: 1/16" = 1'-0"



**C SOUTH ELEVATION**  
SCALE: 1/16" = 1'-0"



**D EAST ELEVATION**  
SCALE: 1/16" = 1'-0"

- LEGEND:**
- EXISTING BUILDING
  - NEW PARKING DECK
  - LANDSCAPE
  - PROPERTY LINE
  - SETBACK & EASEMENT
1. PAINTED CONCRETE (COLOR-)
  2. METAL GATE & SECURITY GRILL (COLOR-)
  3. FREESTANDING PLANTER PAINTED CONCRETE (COLOR-)
  4. LIGHT POLES (COLOR TO MATCH EXISTING POLES)
  5. DIRECTIONAL SIGNAGE
  6. CONCRETE RETAINING WALL
  7. CONCRETE DECK
  8. CONCRETE PAVING
  9. OVERHANGING PLANTER (CONCRETE EXTERIOR FIBERGLASS INTERIOR)

# ELEVATIONS

## PROPOSED SINGLE ELEVATED PARKING DECK

31303 AGOURA ROAD WESTLAKE VILLAGE CALIFORNIA  
GRAMERCY PROPERTY TRUST, 13 S. BEMISTON AVENUE CALYTON MISSOURI 63105

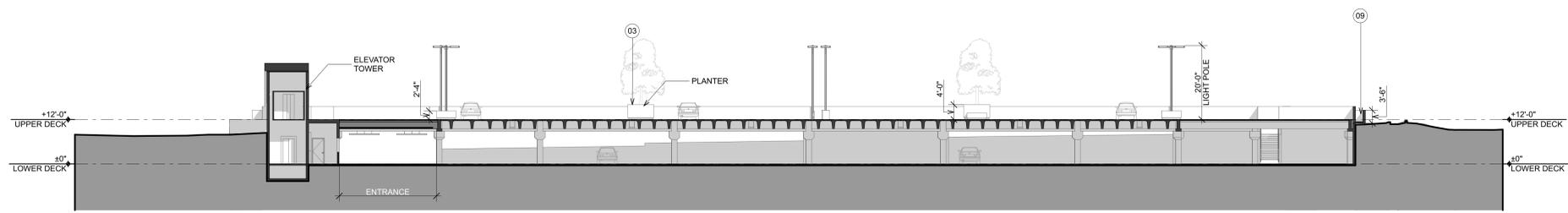
**A5**

Monday, April 30, 2018  
A, B, C, D, 5

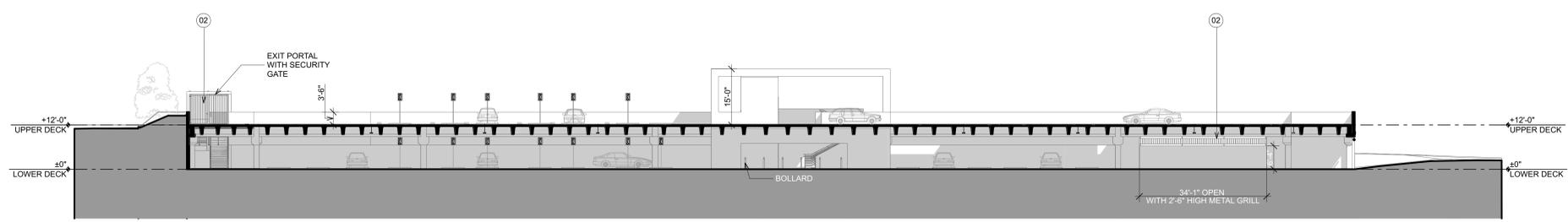
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- LEGEND:
-  EXISTING BUILDING
  -  NEW PARKING DECK
  -  LANDSCAPE
  -  PROPERTY LINE
  -  SETBACK & EASEMENT

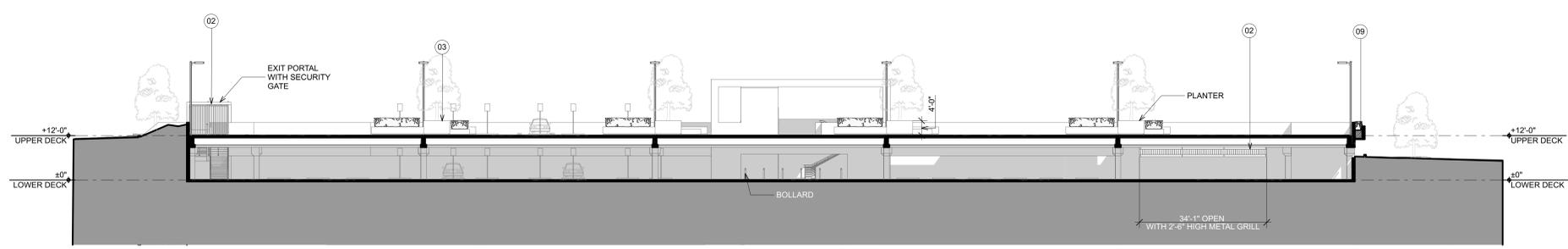
1. PAINTED CONCRETE (COLOR-)
2. METAL GATE & SECURITY GRILL (COLOR-)
3. FREESTANDING PLANTER PAINTED CONCRETE (COLOR-)
4. LIGHT POLES (COLOR TO MATCH EXISTING POLES)
5. DIRECTIONAL SIGNAGE
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7. CONCRETE DECK
8. CONCRETE PAVING
9. OVERHANGING PLANTER (CONCRETE EXTERIOR FIBERGLASS INTERIOR)



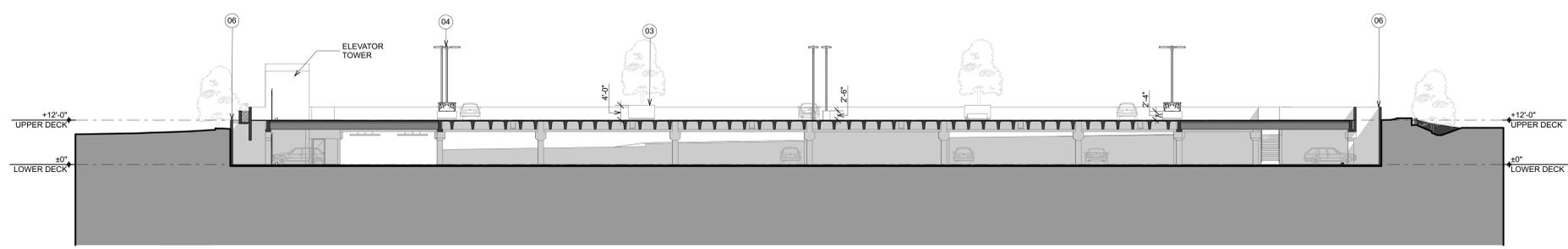
**A** SECTION A  
SCALE: 1/16" = 1'-0"



**B** SECTION B  
SCALE: 1/16" = 1'-0"



**C** SECTION C  
SCALE: 1/16" = 1'-0"



**D** SECTION D  
SCALE: 1/16" = 1'-0"

# SECTIONS

## PROPOSED SINGLE ELEVATED PARKING DECK

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**A6**

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D, C, 3, B, A

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A VIEW FROM AGOURA RD. #1



B VIEW FROM AGOURA RD. #2

# PERSPECTIVES

## PROPOSED SINGLE ELEVATED PARKING DECK

31303 AGOURA ROAD WESTLAKE VILLAGE CALIFORNIA  
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Monday, April 30, 2018



D2 IMAGE OF EXISTING CONDITION

D1 VIEW FROM 101 #1

# PERSPECTIVES

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A8

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D1, D2



**C2** IMAGE OF EXISTING CONDITION

**C1** VIEW FROM 101 #2

# PERSPECTIVES

## PROPOSED SINGLE ELEVATED PARKING DECK

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**A9**

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C1, C2



E PERSPECTIVE



F PERSPECTIVE

# PERSPECTIVES

## PROPOSED SINGLE ELEVATED PARKING DECK

31303 AGOURA ROAD WESTLAKE VILLAGE CALIFORNIA  
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A10  
 E, F

Monday, April 30, 2018



G PERSPECTIVE



H PERSPECTIVE

# PERSPECTIVES

## PROPOSED SINGLE ELEVATED PARKING DECK

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A11  
G, H

Monday, April 30, 2018



A AERIAL VIEW



B AERIAL VIEW

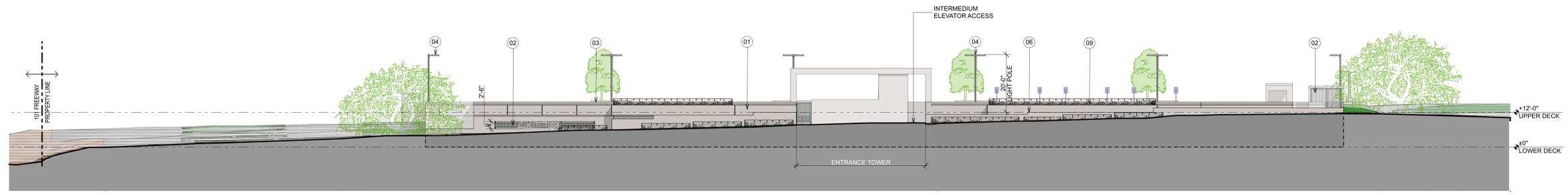
# AERIAL VIEWS

## PROPOSED SINGLE ELEVATED PARKING DECK

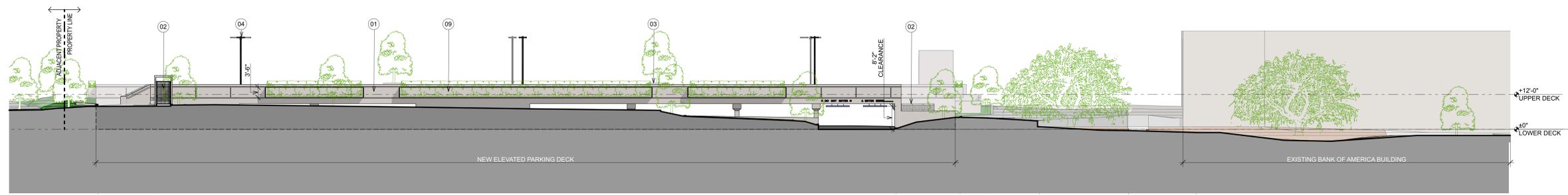
31303 AGOURA ROAD WESTLAKE VILLAGE CALIFORNIA  
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**A12**  
 A, B

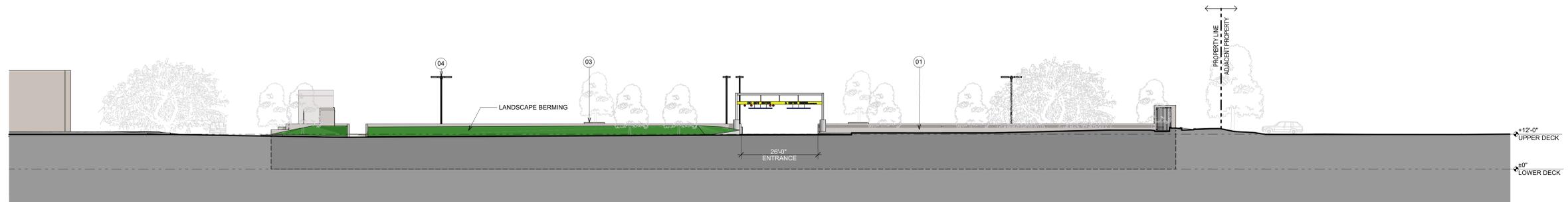
Monday, April 30, 2018



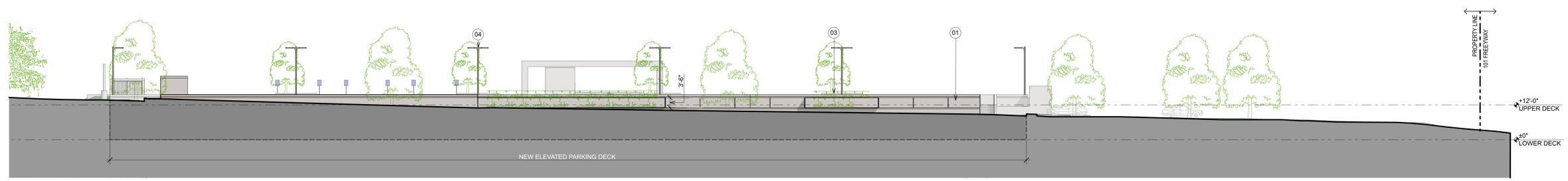
**A WEST ELEVATION COLORED**  
SCALE: 1/16" = 1'-0"



**B NORTH ELEVATION COLORED**  
SCALE: 1/16" = 1'-0"



**C SOUTH ELEVATION COLORED**  
SCALE: 1/16" = 1'-0"



**D EAST ELEVATION COLORED**  
SCALE: 1/16" = 1'-0"

- LEGEND:
- EXISTING BUILDING FOOTPRINT
  - NEW PARKING FACILITY
  - NEW PARKING FACILITY
  - PROPERTY LINE
  - SETBACKS & EASEMENT
1. PAINTED CONCRETE (COLOR-)
  2. METAL GATES & SECURITY GRILLS (COLOR-)
  3. FREESTANDING PLANTER PAINTED CONCRETE (COLOR-)
  4. LIGHT POLES (COLOR TO MATCH EXISTING POLES)
  5. DIRECTIONAL SIGNAGE
  6. CONCRETE RETAINING WALLS
  7. CONCRETE DECK
  8. CONCRETE PAVING
  9. OVERHANGING PLANTERS (CONCRETE EXTERIOR FIBERGLASS INTERIOR)

# COLORED ELEVATIONS

## PROPOSED SINGLE ELEVATED PARKING DECK

31303 AGOURA ROAD WESTLAKE VILLAGE CALIFORNIA  
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**A13**

Monday, April 30, 2018  
A, B, C, D, 5