



WESTLAKE VILLAGE

Public Works Dept.
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31200 Oak Crest Drive
Westlake Village, CA 91361
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**TO: BIDDER'S
LIST**

DATE: November 18, 2016

FAX: (818) 706-1391

FROM: Beau Thompson

**SUBJECT: Addendum No. 1 - City of Westlake Village Community Park Project –
Phase IIB – Park Improvements**

Enclosed is Addendum No. 1 for the City of Westlake Village Community Park Project –
Phase IIB – park Improvements. This email is the only copy being sent out.

The City appreciates your time in providing a bid on this project.

If you have any problems with this transmission, please contact Beau Thompson at 805-
804-7642.

**NOTE: THE BID OPENING DATE HAS BEEN
MOVED TO NOVEMBER 30th at 10:30am**

The following additions and/or corrections shall become a part of the Contract Documents
and Specifications for the above-named project. **ALL PROPOSERS SHALL
ACKNOWLEDGE RECEIPT OF THIS ADDENDUM ON PAGE C-3A OF THEIR BID.**

1. The following documents are attached hereto and are hereby added to the
Contract Documents as part of Addendum No. 1:
 - a. Job Walk Sign in Sheet (Note: Only the firms present at Job Walk will be
allowed to bid on this project)
 - b. Revised Bid Schedule and Measurement and Payment Sections (Pages C-3 to
C-20 have been replaced with Pages C-3A to C-20A)
 - c. Project Plan Sheet SD-1
 - d. As-Built Survey of Soccer Field and Baseball Field #1 (For Reference Only)
 - e. Plan Holder's List
 - f. Phase 2A Plans (For Utility Reference Only)

2. Job Walk RFI's

a. Question: What is the engineer's estimate?

Answer: \$1,250,000 (Base Bid + Bid Alternates)

3. Bid Period RFI's

a) **Question: regarding Bid Item #2**

I cannot find anything in the plans regarding this. Please provide plan sheets necessary to obtain pricing and/or elaborate on what is expected of Contractor in the scope of this line item.

Answer:

Refer to the enclosed Phase 2A Plans (PG-01, PG-04, PG-05, &PG-07). The work shown on these plans has been installed. Contractors shall then be required to make any Storm Drain connections and stubouts necessary to complete the Phase 2B Park Improvements.

b) **Question: regarding Bid Item #5**

Please provide Sheet SD-1.

Answer:

See Plan Sheet SD-1 attached

c) **Question: regarding Bid Item #8**

Please provide Sheet SD-1.

Answer:

See Plan Sheet SD-1 attached

d) **Question: regarding Bid Item #10**

Referring to Plan Page L3-1, on the construction legend, 52 reads. "Decorative Entry Feature, Refer to Detail B Sheet L5-4"

Upon review of Detail B on Sheet L5-4 you will notice this is the monument sign detail which is roughly 60 linear feet.

Going back to Sheet L3-1 you will notice 52 of the construction legend points to 2 separate curved areas. The lower arrow appears to be pointing to the Tot Lot #2 Seat Wall which is shown on Sheet L5-2 Detail P. Looking at detail P on Sheet L5-2 you'll notice the construction legend, 9 refers to a decorative entry seat wall on Sheet L5-5 detail P which shows the lower field entry wall.

What exactly are we building? Plans are unclear. Please provide additional information.

Answer:

Correct Detail reference is Detail "P" Sheet L5-2 and Detail "P" Sheet L5-5

e) **Question: regarding Bid Item #11**

What exactly is provided by the owner? Are posts, hardware, shade fabric, etc. provided? How are the posts installed, are they poured in place or do they require anchor bolts? If so, what size anchor bolts, and will anchors be provided by owner?

Answer:

Bid Item removed – Shade shelters to be provided and installed by others.

f) **Question: regarding Bid Item #14**

Does this include the raised ADA bleacher platforms?

Answer:

Yes

g) **Question: regarding Bid Item #15**

Please verify that this is for 1 step location only. Per sheet L3-1, 84 on the construction legend is only noted once at the bleachers closest to Tot Lot #2. Will the other bleacher area require the same?

Answer:

Callout No. 84 not required at bleacher along first base line (East bleacher), the bleacher is at grade and does not require the step. Callout No. 84 shall be required along the home stretch (South bleacher closest to Tot Lot #2).

h) **Question: regarding Bid Item #22**

- a. Please verify that this is not a manufactured building, but it is in fact a kit of materials to be provided by the owner to aide in the construction of the building

and the contractor will be responsible for storing materials during the course of its construction.

- b. Please verify other materials will still need to be provided by the contractor to complete the construction of this structure. Other materials include but are not limited to; Concrete, Steel Reinforcing Bar, Electrical Conduit, Electrical Wiring, Electrical Boxes, Electrical Fittings, Circuit Breakers, Plugs, Switches, Trim Plates, Screws, Nails, Anchors, Plumbing conduits, plumbing fittings, etc.
- c. Will conduits for future cameras need to be installed? The current restroom/concession at Baseball 2 and 3 has 4 conduit locations for future cameras installed.
- d. With that being said, will phone or data be necessary to this structure? The other restroom/concession at BB 2+3 does currently have this provision in place.

Answer:

- a. Correct. Contractor will be supplied with construction drawings and the full building kit as a complete, pre-designed packaged building to be constructed onsite. Contractor is responsible for storing materials during the course of construction, installing all items provided, purchase and application of epoxy concrete sealer, and finishing the slab.
- b. Correct. Contractor will provide materials to complete the construction of the structure.
- c. Contractor to provide one conduit for power to a camera. Location to be determined by owner.
- d. Contractor to stub both phone and data lines into mechanical/electrical chase room in Concession / Restroom Building.

i) Question: regarding Bid Item #23

How far is the existing Electrical planned point of connection from the point of entry into the restroom building?

Answer:

Electrical POC conduit and conductors from the Soccer Field Concession / Restroom to the Building Panel/Switchboard will be provided by the Phase 2B Electrical Contractor to within 60 feet, or less, of the Concession / Restroom Building. The Phase 2B Park Improvements contractor shall then be required to install the conduit into the electrical/mechanical room of the building. See Phase 2B Electrical Plans for electrical for electrical service to this building.

j) Question: regarding Bid Item #24

How far is the existing sewer planned point of connection from the nearest edge of the restroom building?

Answer:

Sewer POC is +/- 30-feet eastward. See sheet WU-4 of the Phase 2A utility locations for existing utility information.

k) Question: regarding Bid Item #25

How far is the existing water planned point of connection from the nearest edge of the restroom building?

Answer:

Water POC is +/- 30-feet eastward. See sheet WU-4 of the Phase 2A utility locations for existing utility information.

l) Question: regarding Bid Item #28

Please verify this is a Design Build system by contractor and all associated permits, fees, and approvals will be the contractor's responsibility.

Answer:

Correct, these items are the contractor's responsibility.

m) Question: regarding Bid Item #29

Please verify all associated permits, fees, and approvals will be the contractors responsibility.

Answer:

Correct, these items are the contractor's responsibility.

n) Question: regarding Bid Item #35

Are the flagpole light fixtures to be included in this purchase?

Answer:

Yes. Provide 2 pole-mounted uprights for 1 flagpole

o) Question: regarding Bid Item #36

Is this to include the installation of the flagpole lights? Will the power for the lights be coming from the restroom electrical panel? Should we include conduit, trenching, wiring,

time clock and circuit breaker in this scope?

Answer:

Yes. Provide 2 pole-mounted uprights with conduit on a dedicated circuit.

p) Question: regarding Bid Item #40

Please verify square footage.

Sidewalk to park pavilion is greater than 170 square feet. Is this not part of this line item scope?

Park pavilion itself scales at 26' long edge to edge per the plans. To find the square footage of a circle is as follows: (Diameter x Diameter) x pie = square footage. $13 \times 13 = 169$. $169 \times \text{pie} = 531$. So is the 170 square feet of 4" concrete listed for bid item #40 correct, or should it be 531 square feet. if 170 square feet is correct then we are at $170 \text{ divided by pie} = 54$. square root of 54 is 7.35 making the slab a little over 14'6" from edge to edge. Which is the right slab size? Was Pie missed in the original calculations of Square Footage?

Answer:

Gazebo Concrete Pad is +/- 455 SF based on a 24-foot diameter (Gazebo structure is 18-foot diameter). Sidewalk to Gazebo to be constructed per plan is +/- 280 SF. Total Bid SF has been changed to 735 SF.

q) Question: regarding Bid Item #41

- a) Are we responsible for the storage of the owner provided gazebo throughout construction?
- b) What exactly is provided by the owner? Are posts, hardware, structural members, roofing, etc. provided? How are the posts installed, are they poured in place or do they require anchor bolts? If so, what size anchor bolts, and will they be provided by owner?
- c) per page C-18 of the specs, it reads, electrical service for lights to be provided by other. Please verify the lights are to be provided under separate contract. Please verify that it is contractor's responsibility in the scope of this line item to provide electrical service necessary from soccer field switchgear to Gazebo Lights.
- d) What is the overall constructed dimensions of this structure?

Answer:

- a) Yes.
- b) Owner / Vendor / Others to provide all hardware and materials. Contractor to provide a level pad and coordinate offloading the gazebo and coordinate conduit through pad with Electrical Contractor and Construction Manager. All Gazebo electrical components to be provided by Phase 2B Electrical Contractor
- c) Electrical work and materials are to be provide by separate contract and are not included in owner provided materials. Phase 2B Electrical Contractor shall provide full and completed electrical service to the Gazebo.
- d) Gazebo is an 18-foot diameter hexagonal structure made of cedar wood.

r) **Question: regarding ALT Item #6**

Sheet L6-6 Detail P shows an electrical outlet to be installed per note #9. Is electrical going to be required in this structure? If so, are lights going to be necessary as well? Currently there are lights installed in the other 2 existing Storage Buildings for Baseball # 2 + 3. Is this to follow suit?

Answer:

Coordinate all Storage Building Electrical Service with the Phase 2B – Electrical Contractor. All electrical components to be provided by Phase 2B Electrical Contractor. Minor conduit stubouts may be required of the Contractor.

4. **Clarifications**

- a. Refer to Detail O & Detail P on Sheet L5-5: Contractor shall be aware that Brick Veneer is to be adhered to both sides of the Field Entry Wall.

By: _____

John Knipe, P.E.
City Engineer



JOB WALK SIGN IN SHEET

JOB WALK SIGN-IN SHEET

PROJECT: WESTLAKE VILLAGE COMMUNITY PARK – PHASE 2B –Landscape and Irrigation/Park Improvementsp

CITY: Westlake Village

LOCATION: 31105 Thousand Oaks Blvd, Westlake Village, CA

DATE: November 4, 2016

TIME: 10:00 AM

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MICHAEL HOBART	West Coast Netting	westcoastnetting@gmail.com	310 415 6769

REVISED BID SCHEDULE /
MEASUREMENT AND PAYMENT
SECTIONS

**SCHEDULE OF WORK AND UNIT PRICES
FOR
WESTLAKE VILLAGE COMMUNITY PARK –
PHASE IIB – PARK IMPROVEMENTS
BASE BID**

ITEM No.	ITEM DESCRIPTION	UNIT	QTY	UNIT PRICE	TOTAL BID PRICE
1	Mobilization (General Conditions and Provisions)	LS	1	N/A	
2	Storm Drain Connections and Stub Outs	LS	1	N/A	
3	Purchase Sideline Safety Netting and Poles for Baseball Field #1	LS	1	N/A	
4	Install Sideline Safety Netting and Poles for Baseball Field #1	LS	1	N/A	
5	Purchase and Install Vinyl Fence Backstop w/Windscreen at Baseball Field #1	LS	1	N/A	
6	Purchase and Install 42" High Vinyl Fencing w/ Windscreen at Baseball Field #1, 2, 3	LF	700		
7	Purchase and Install Vinyl Fence Double Gate at Baseball Field #1	EA	2		
8	Construct Dugout w/Team Benches at Baseball Field #1	EA	2		
9	Purchase and Install Bleacher Seating at Baseball Field #1	EA	2		
10	Construct Entry Feature at Baseball Field #1	LF	15		
11	BID ITEM DELETED				
12	Purchase and Install Foul Ball Pole at Baseball Field #1	EA	2		
13	Install Signage Program at Baseball Field #1	LS	1	N/A	

Addendum No 1

ITEM No.	ITEM DESCRIPTION	UNIT	QTY	UNIT PRICE	TOTAL BID PRICE
14	4" Concrete Paving at Baseball Field #1	SF	3,300		
15	Construct Handrail and Step at Baseball Field #1	LS	1	N/A	
16	Purchase and Install Drinking Fountain at Baseball Field #1	EA	2		
17	Install Owner Furnished Trash/Recyclable Receptacles at Baseball Field #1	EA	4		
18	Install Owner Furnished Picnic Tables at Baseball Field #1	EA	3		
19	Purchase and Install Helmet Coach Rack at Baseball Field #1	EA	2		
20	Purchase and Install Bag Rack at Baseball Field #1	EA	1		
21	Install Owner Furnished Tree Grates at Baseball Field #1	EA	3		
22	Installation of Owner Furnished Restroom Building Material at Soccer Field	LS	1	N/A	
23	Main Electrical Connections at Soccer Field Restroom Building	LS	1	N/A	
24	Main Sewer Connection at Soccer Field Restroom Building	LS	1	N/A	
25	Main Water Connection at Soccer Field Restroom Building	LS	1	N/A	
26	Install Owner Furnished Soccer Field Restroom Building Furnishings, Fixtures, and Equipment	LS	1	N/A	
27	Soccer Field Restroom Building Slab/Foundation	LS	1	N/A	

Addendum No 1

ITEM No.	ITEM DESCRIPTION	UNIT	QTY	UNIT PRICE	TOTAL BID PRICE
28	Purchase and Install Soccer Field Restroom Building Fire Sprinkler System and Obtain Fire Department Approval	LS	1	N/A	
29	LA County Health Department Inspection and Approval at Soccer Field Restroom Building	LS	1	N/A	
30	4" Concrete Paving at Soccer Restroom Building	SF	1,350		
31	Install Owner Furnished Picnic Tables at Soccer Field Restroom Building	EA	4		
32	Purchase and Install Drinking Fountain at Soccer Field Restroom Building	EA	1		
33	Install Owner Furnished Tree Grates at Soccer Field Restroom Building	EA	6		
34	Install Owner Furnished Trash/Recycling Receptacles at Soccer Field Restroom Building	EA	4		
35	Purchase Flagpole at Soccer Field Restroom Building	EA	1		
36	Install Flagpole at Soccer Field Restroom Building	EA	1		
37	Purchase Sideline Safety Netting and Poles for Soccer Field	LS	1	N/A	
38	Install Sideline Safety Netting and Poles for Soccer Field	LS	1	N/A	
39	Purchase and Install Drinking Fountain at Soccer Field	EA	1		
40	4" Concrete Paving at Park Pavilion Gazebo	SF	730		
41	Install Owner Furnished Park Pavilion Gazebo Structure	LS	1	N/A	

Addendum No 1

ITEM No.	ITEM DESCRIPTION	UNIT	QTY	UNIT PRICE	TOTAL BID PRICE
42	Basketball Courts & Striping (Relocate and Re-Install Existing, Purchase and Install Proposed)	LS	1	N/A	
43	Apply Anti-Graffiti Coating	SF	10,000		
44	Directional Signage	EA	2		
45	Export of Miscellaneous Spoils	CY	10		
46	Release of Contract	LS	1	N/A	\$1.00
TOTAL BASE BID =		\$ _____ (Figure)			

BID ALTERNATE

ITEM No.	ITEM DESCRIPTION	UNIT	QTY	UNIT PRICE	TOTAL BID PRICE
1	Purchase and Install Scorer's Table at Baseball Field #1	EA	1		
2	Interpretive Signage	LS	1		
3	Construct Batting Cage at Baseball Field #1	EA	1		
4	Construct Bull Pen at Baseball Field #1	EA	2		
5	Purchase and Install Bike Rack at Baseball Field #1	EA	1		
6	Purchase and Install Storage Building at Baseball Field #1	LS	1	N/A	
TOTAL BID ALTERNATE=		\$ _____ (Figure)			

TOTAL AMOUNT BID (BASE BID TOTAL + BID ALTERNATE TOTAL)	\$ _____ (Figure)
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TOTAL AMOUNT BID (IN WRITING):

Contractor's Name:

THE TOTAL AMOUNT BID ABOVE IS SUBJECT TO THE FOLLOWING:

1. The award of contract, if made, will be to the lowest responsive and responsible bidder based on the lowest Total Amount Bid which shall include both Base Bid and Bid Alternate.
2. The Total Amount Bid shall include all work shown on the plans and requirements contained in the specifications.
3. **Contractor's shall understand that the Job Walk is Mandatory and only those whom attend will be considered qualified for bidding this project. Qualified personnel from the Contractor's staff shall attend job walk. Qualified staff include: Owner, Project Supervisor, Project Manager, Head Estimator.**
4. Contractor is expected to independently determine all work to be done and to verify any quantities stated herein and to submit a bid based on Contractor's own independent calculation and review of the contract plans. The City shall not be responsible for nor will it agree to any increase or additional sums for any miscalculation in the quantity of materials by the contractor required to complete all aspects of the construction called for in the plans and specifications.
5. The City retains the sole discretion on choice of which bid items(s) from both Base Bid and Bid Alternate Bid Items to construct. The City makes no guarantee or assurances as to the amount of work this contract will entail.
6. **Note: all unit costs/lump sums shall include prevailing wage rates.**
7. Contractor shall be required prior to release of retention to provide
 - a. final releases from all vendors, suppliers and subcontractors
 - b. certified payroll records for all prime and subcontractor employees
8. The Schedule of Work and Prices shall be used for Progress Payment purposes only.
9. Measurement and Payment sections for all bid items within Bid Schedule can be found starting on page C-11A.

**MEASUREMENT AND PAYMENT
FOR
WESTLAKE VILLAGE COMMUNITY PARK –
PHASE IIB – PARK IMPROVEMENTS
BASE BID**

BID ITEM NO 1: Mobilization shall consist of preparatory work and operations, including, but not limited to: insurance, bonds, required permits and fees, shop drawings, submittals, the movement of personnel, equipment, supplies, and incidentals to the project site (mobilization), as-built plans, coordination with other contractors, meetings, moving off the project, clean up, removal of spoils, and the establishment of any temporary facilities. Temporary stockpiling of export materials is subject to City approval. **Measurement and Payment for Mobilization** shall be at the lump sum price bid and shall include, but not limited to, all labor, materials, equipment, and incidentals required to complete mobilization in accordance with the Contract Documents, and no additional compensation will be allowed therefor. Progress payments for Mobilization will be the lesser amount from columns B and C of Table A - Bid Item #1 as follows:

Table A – Bid Item #1

IF A IS	B AMOUNT IS	C AMOUNT IS
05	0.2 x Mobilization Bid Item	0.02 x CONTRACT PRICE
10	0.4 x Mobilization Bid Item	0.04 x CONTRACT PRICE
20	0.5 x Mobilization Bid Item	0.05 x CONTRACT PRICE
50	0.7 x Mobilization Bid Item	0.07 x CONTRACT PRICE
70	0.8 x Mobilization Bid Item	0.08 x CONTRACT PRICE
90	0.9 x Mobilization Bid Item	0.09 x CONTRACT PRICE
100% OR MORE	1.0 x Mobilization Bid Item	0.10 x CONTRACT PRICE

Notes:

1. A is the monthly pay estimate as a % of the original Contract Price not including amount earned for mobilization, bonds, and permits.
2. One hundred percent or more of the original Contract Price and final cleanup operations have been satisfactorily completed.

The total amount of mobilization shall not exceed 10% of the original Contract Price.

BID ITEM NO 2: Measurement and Payment for Storm Drain Connections and Stub Outs shall be at the lump sum price bid and shall include, but not limited to, all labor, materials, equipment, and incidentals required to complete all connections to mainline and provide stub outs for future connection as shown on the plans, and all items necessary to be a fully functional system complete in place and be in accordance with the Contract Documents, and no additional compensation will be allowed therefor.

BID ITEM NO 3: Measurement and Payment for Purchase Sideline Safety Netting and Poles for Baseball Field #1 shall be at the lump sum price bid and shall include, but not limited to, all labor, materials, equipment, and incidentals required to complete the purchase, handling, and storage of all safety netting, poles, and material needed to install the safety netting and be in accordance with the Contract Documents, and no additional compensation will be allowed therefor.

BID ITEM NO 4: Measurement and Payment for Install Sideline Safety Netting and Poles for Baseball Field #1 shall be at the lump sum price bid and shall include, but not limited to, all labor, materials, equipment, and incidentals required to complete the installation of all safety netting (including burial, footings, connections, posts, netting) with all items necessary to be a fully functional system complete in place and be in accordance with the Contract Documents, and no additional compensation will be allowed therefor.

BID ITEM NO 5: Measurement and Payment for Purchase and Install Vinyl Fence Backstop w/Windscreen at Baseball Field #1 shall be at the lump sum price bid and shall include, but not limited to, all labor, materials, equipment, and incidentals required to complete the purchase and installation of all backstop components at baseball field #1 (including excavation, re-compaction, footings, vinyl fence, connections, brick veneer, backstop padding, posts, windscreen) with all items necessary to be a fully functional system complete in place and be in accordance with the Contract Documents, and no additional compensation will be allowed therefor.

BID ITEM NO 6: Measurement and Payment for Purchase and Install 42" High Vinyl Fencing w/Windscreen at Baseball Field #1, 2, 3 shall be at the price bid per linear foot and shall include, but not limited to, all labor, materials, equipment, and incidentals required to complete the purchase and installation of all vinyl fencing (including excavation, re-compaction, footings, vinyl fence, connections, posts, windscreen) with all items necessary to be a fully functional system complete in place and be in accordance with the Contract Documents, and no additional compensation will be allowed therefor.

BID ITEM NO 7: Measurement and Payment for Purchase and Install Vinyl Fence Double Gate at Baseball Field #1 shall be at the price bid per each and shall include, but not limited to, all labor, materials, equipment, and incidentals required to complete the purchase and installation of all vinyl fence double gates (including excavation, re-compaction, footings, vinyl fence, connections, posts, windscreen) with all items necessary to be a fully functional system complete in place and be in accordance with the Contract Documents, and no additional compensation will be allowed therefor.

BID ITEM NO 8: Measurement and Payment for Construct Dugout w/Team Benches at Baseball Field #1 shall be at the lump sum price bid and shall include, but not limited to, all labor, materials, equipment, and incidentals required to complete the installation of all dugout components at baseball field #1 (including excavation, re-compaction, footings, vinyl fence, panels, connections, concrete paving, gates, brick veneer, dugout benches, posts, CMU block, roof) with all items necessary to be a fully functional system complete in place and be in accordance with the Contract Documents, and no additional compensation will be allowed therefor.

BID ITEM NO 9: Measurement and Payment for Purchase and Install Bleacher Seating at Baseball Field #1 shall be at the price bid per each and shall include, but not limited to, all labor, materials, equipment, and incidentals required to complete the purchase and installation of the baseball field bleacher seating (including excavation, re-compaction, concrete pad, erection, connections, handrails, steps) with all items necessary to be a fully functional system complete in place and be in accordance with the Contract Documents, and no additional compensation will be allowed therefor.

BID ITEM NO 10: Measurement and Payment for Construct Entry Feature at Baseball Field #1 shall be at the price bid per linear foot and shall include, but not limited to, all labor, materials, equipment, and incidentals required to complete the construction of the baseball field entry wall (including excavation, staking, compaction, footing, form and pour, reinforcement, brick veneer, wire mesh, CMU block) and be in accordance with the Contract Documents, and no additional compensation will be allowed therefor.

BID ITEM NO 11: Bid item deleted, no work is to be performed, no payment shall be billed by nor made to the contractor.

BID ITEM NO 12: Measurement and Payment for Purchase and Install Foul Ball Pole at Baseball Field #1 shall be at the price bid per each and shall include, but not limited to, all labor, materials, equipment, and incidentals required to complete the purchase and installation of the baseball field foul ball poles (including excavation, re-compaction, footing, erection) with all items necessary to be a fully functional system complete in place and be in accordance with the Contract Documents, and no additional compensation will be allowed therefor.

BID ITEM NO 13: Measurement and Payment for Purchase and Install Signage Program at Baseball Field #1 shall be at the lump sum price bid and shall include, but not limited to, all labor, materials, equipment, and incidentals required to complete the purchase and installation of all baseball field #1 signage and be in accordance with the Contract Documents, and no additional compensation will be allowed therefor.

BID ITEM NO 14: Measurement and Payment for 4" Concrete Paving at Baseball Field #1 shall be at the price bid per square foot and shall include, but not limited to, all labor, materials, equipment, and incidentals required to complete the construction of concrete paving and raised ADA bleacher platforms, within the limits of baseball field #1

(including staking, excavation, forming, pouring) and be in accordance with the Contract Documents, and no additional compensation will be allowed therefor.

BID ITEM NO 15: Measurement and Payment for Construct Handrail and Step at Baseball Field #1 shall be at the lump sum price bid and shall include, but not limited to, all labor, materials, equipment, and incidentals required to complete the construction of handrail and step in one location within the limits of baseball field #1 (including staking, excavation, re-compaction, reinforcement, forming, pouring, handrail) and be in accordance with the Contract Documents, and no additional compensation will be allowed therefor.

BID ITEM NO 16: Measurement and Payment for Purchase and Install Drinking Fountain at Baseball Field #1 shall be at the price bid per each and shall include, but not limited to, all labor, materials, equipment, and incidentals required to complete the purchase and installation of drinking fountains at Baseball Field #1 (including waterline connection, drain pipe, filter cloth, sand trap) and be in accordance with the Contract Documents, and no additional compensation will be allowed therefor.

BID ITEM NO 17: Measurement and Payment for Install Owner Furnished Trash/Recyclable Receptacles at Baseball Field #1 shall be at the price bid per each and shall include, but not limited to, all labor, materials, equipment, and incidentals required to complete the installation of City furnished trash and recyclable receptacles at various locations at the baseball field and be in accordance with the Contract Documents, and no additional compensation will be allowed therefor.

BID ITEM NO 18: Measurement and Payment for Install Owner Furnished Picnic Tables at Baseball Field #1 shall be at the price bid per each and shall include, but not limited to, all labor, materials, equipment, and incidentals required to complete the installation of City furnished picnic tables at baseball field #1 and be in accordance with the Contract Documents, and no additional compensation will be allowed therefor.

BID ITEM NO 19: Measurement and Payment for Purchase and Install Helmet Coach Rack at Baseball Field #1 shall be at the price bid per each and shall include, but not limited to, all labor, materials, equipment, and incidentals required to complete the purchase and installation of helmet coach rack at Baseball Field #1 and be in accordance with the Contract Documents, and no additional compensation will be allowed therefor.

BID ITEM NO 20: Measurement and Payment for Purchase and Install Bag Rack at Baseball Field #1 shall be at the price bid per each and shall include, but not limited to, all labor, materials, equipment, and incidentals required to complete the purchase and installation of bag rack at Baseball Field #1 and be in accordance with the Contract Documents, and no additional compensation will be allowed therefor.

BID ITEM NO 21: Measurement and Payment for Install Owner Furnished Tree Grates at Baseball Field #1 shall be at the price bid per each and shall include, but not limited to, all labor, materials, equipment, and incidentals required to complete the

installation of City furnished tree grates at baseball field #1 and be in accordance with the Contract Documents, and no additional compensation will be allowed therefor.

BID ITEM NO 22: Measurement and Payment for Installation of Owner Furnished Restroom Building Material as Soccer Field shall be at the lump sum price bid and shall include, but not limited to, all labor, materials, equipment, and incidentals (including but not limited to concrete, steel reinforcing bars, electrical conduit, stubouts, electrical wiring, electrical boxes, electrical fittings, circuit breakers, plugs, switches, trim plates, screws, nails, anchors, plumbing conduits, plumbing fittings, etc) required to complete the construction of City furnished pre-designed kit restroom building at soccer field (including unloading, handling, security and storage, erection with-in ~~compliance-of with~~ Romtec Building Specs) and be in accordance with the Contract Documents, and no additional compensation will be allowed therefor.

BID ITEM NO 23: Measurement and Payment for Main Electrical Connections at Soccer Field Restroom Building shall be at the lump sum price bid and shall include, but not limited to, all labor, materials, equipment, and incidentals required to complete all connections to electrical mainline as shown on the plans, and all items necessary to be a fully functional system complete in place and be in accordance with the Contract Documents, and no additional compensation will be allowed therefor.

BID ITEM NO 24: Measurement and Payment for Main Sewer Connection at Soccer Field Restroom Building shall be at the lump sum price bid and shall include, but not limited to, all labor, materials, equipment, and incidentals required to complete all connections to sewer mainline as shown on the plans, and all items necessary to be a fully functional system complete in place and be in accordance with the Contract Documents, and no additional compensation will be allowed therefor.

BID ITEM NO 25: Measurement and Payment for Main Water Connection at Soccer Field Restroom Building shall be at the lump sum price bid and shall include, but not limited to, all labor, materials, equipment, and incidentals required to complete all connections to water mainline as shown on the plans, and all items necessary to be a fully functional system complete in place and be in accordance with the Contract Documents, and no additional compensation will be allowed therefor.

BID ITEM NO 26: Measurement and Payment for Installation of Owner Furnished Soccer Field Restroom Building Furnishings, Fixtures, and Equipment shall be at the lump sum price bid and shall include, but not limited to, all labor, materials, equipment, and incidentals required to complete the installation of City furnished restroom building furnishings, fixtures, and equipment into the restroom building (including unloading, handling, security and storage, connections of sinks, toilets, doors, faucets, and all other furnishings, fixtures, and equipment) for a fully functioning building and be in accordance with the Contract Documents, and no additional compensation will be allowed therefor.

BID ITEM NO 27: Measurement and Payment for Soccer Field Restroom Building Slab/Foundation shall be at the lump sum price bid and shall include, but not limited to,

all labor, materials, equipment, and incidentals required to complete the construction of concrete slab within the limits of the restroom building (including staking, excavation, forming, coordination and placement of all in-slab utility penetrations, pouring, reinforcement) and be in accordance with the Contract Documents, and no additional compensation will be allowed therefor.

BID ITEM NO 28: Measurement and Payment for Purchase and Install Soccer Field Restroom Building Fire Sprinkler System and Obtain Fire Department Approval shall be at the lump sum price bid and shall include, but not limited to, all labor, materials, equipment, permits, fees, approvals, and incidentals required to complete the purchase and installation of fire sprinkler system at soccer field restroom building and obtain approval from Fire Department (including installation, connections to waterline, requirements set forth by Fire Department, testing and approval) and be in accordance with the Contract Documents, and no additional compensation will be allowed therefor.

BID ITEM NO 29: Measurement and Payment for LA County Health Department Inspection and Approval at Soccer Field Restroom Building shall be at the lump sum price bid and shall include, but not limited to, all labor, materials, equipment, permits, fees, approvals and incidentals required to complete the inspection and approval from LA County Health Department adhering to all requirements set forth by LA County and be in accordance with the Contract Documents, and no additional compensation will be allowed therefor.

BID ITEM NO 30: Measurement and Payment for 4” Concrete Paving at Soccer Field Restroom Building shall be at the price bid per square foot and shall include, but not limited to, all labor, materials, equipment, and incidentals required to complete the construction of concrete paving within the limits of soccer field restroom building area (including staking, excavation, forming, pouring) and be in accordance with the Contract Documents, and no additional compensation will be allowed therefor.

BID ITEM NO 31: Measurement and Payment for Install Owner Furnished Picnic Tables at Soccer Field Restroom Building shall be at the price bid per each and shall include, but not limited to, all labor, materials, equipment, and incidentals required to complete the installation of City furnished picnic tables at restroom building and be in accordance with the Contract Documents, and no additional compensation will be allowed therefor.

BID ITEM NO 32: Measurement and Payment for Purchase and Install Drinking Fountain at Soccer Field Restroom Building shall be at the price bid per each and shall include, but not limited to, all labor, materials, equipment, and incidentals required to complete the purchase and installation of drinking fountains at restroom building (including waterline connection, drain pipe, filter cloth, sand trap) and be in accordance with the Contract Documents, and no additional compensation will be allowed therefor.

BID ITEM NO 33: Measurement and Payment for Install Owner Furnished Tree Grates at Soccer Field Restroom Building shall be at the price bid per each and shall

include, but not limited to, all labor, materials, equipment, and incidentals required to complete the installation of City furnished tree grates at restroom building and be in accordance with the Contract Documents, and no additional compensation will be allowed therefor.

BID ITEM NO 34: Measurement and Payment for Install Owner Furnished Trash/Recyclable Receptacles at Soccer Field Restroom Building shall be at the price bid per each and shall include, but not limited to, all labor, materials, equipment, and incidentals required to complete the installation of City furnished trash and recyclable receptacles at restroom building and be in accordance with the Contract Documents, and no additional compensation will be allowed therefor.

BID ITEM NO 35: Measurement and Payment for Purchase Flagpole at Soccer Field Restroom Building shall be at the price bid per each and shall include, but not limited to, all labor, materials, equipment, and incidentals required to complete the purchase, handling, and storage of flagpole with internal halyard and material needed for installation, including purchase of 2 pole mounted uprights, and be in accordance with the Contract Documents, and no additional compensation will be allowed therefor.

BID ITEM NO 36: Measurement and Payment for Install Flagpole at Soccer Field Restroom Building shall be at the price bid per each and shall include, but not limited to, all labor, materials, equipment, and incidentals required to complete the installation of flagpole at restroom building (including burial, footings, connections, with all wiring, 2 up lights, post, flag, halyard) with all items necessary to be a fully functional system complete in place and be in accordance with the Contract Documents, and no additional compensation will be allowed therefor.

BID ITEM NO 37: Measurement and Payment for Purchase Sideline Safety Netting and Poles for Soccer Field shall be at the lump sum price bid and shall include, but not limited to, all labor, materials, equipment, and incidentals required to complete the purchase, handling, and storage of all safety netting, poles, and material needed to install the safety netting at soccer field and be in accordance with the Contract Documents, and no additional compensation will be allowed therefor.

BID ITEM NO 38: Measurement and Payment for Install Sideline Safety Netting and Poles for Soccer Field shall be at the lump sum price bid and shall include, but not limited to, all labor, materials, equipment, and incidentals required to complete the installation of all safety netting (including burial, footings, connections, posts, netting, padding) with all items necessary to be a fully functional system complete in place and be in accordance with the Contract Documents, and no additional compensation will be allowed therefor.

BID ITEM NO 39: Measurement and Payment for Purchase and Install Drinking Fountain at Soccer Field shall be at the price bid per each and shall include, but not limited to, all labor, materials, equipment, and incidentals required to complete the purchase and installation of drinking fountain at soccer field (including waterline

connection, drain pipe, filter cloth, sand trap) and be in accordance with the Contract Documents, and no additional compensation will be allowed therefor.

BID ITEM NO 40: Measurement and Payment for 4” Concrete Paving at Park Pavilion shall be at the price bid per square foot and shall include, but not limited to, all labor, materials, equipment, and incidentals required to complete the construction of concrete paving within the limits of park pavilion area, including the construction of a walkway/sidewalk and pad for Gazebo to be coordinated with Vendors and others as necessary to ensure proper installation of the future Gazebo (including staking, excavation, forming, pouring) and be in accordance with the Contract Documents, and no additional compensation will be allowed therefor.

BID ITEM NO 41: Measurement and Payment for Installation of Owner Furnished Park Pavilion Structure shall be at the lump sum price bid and shall include, but not limited to, all labor, materials, equipment, storage, and incidentals required to complete the construction of City furnished park pavilion structure, including coordination with Vendor and others as necessary to ensure proper installation (including unloading, handling, storage, excavation, re-compaction, concrete slab, connections, erection, electrical service for lights to be installed by others) and be in accordance with the Contract Documents, and no additional compensation will be allowed therefor.

BID ITEM NO 42: Measurement and Payment for Basketball Courts & Striping shall be at the lump sum price bid and shall include, but not limited to, all labor, materials, equipment, and incidentals required to complete the basketball court construction (including purchase and installation of 2 basketball courts, relocating 1 existing basketball court to new basketball courts area, striping as shown on plans) and be in accordance with the Contract Documents, and no additional compensation will be allowed therefor.

BID ITEM NO 43: Measurement and Payment for Anti-Graffiti Coating shall be at the price bid per square foot and shall include, but not limited to, all labor, materials, equipment, and incidentals required to complete the coating of all surfaces directed by the City with anti-graffiti coating (including entry walls, existing restroom building, proposed restroom building, existing upper pump house, existing wall of skate park) and be in accordance with the Contract Documents, and no additional compensation will be allowed therefor.

BID ITEM NO 44: Measurement and Payment for Directional Signage shall be at the price bid per each and shall include, but not limited to, all labor, materials, equipment, and incidentals required to complete the purchase and installation directional signage at Baseball Field #1 and the Soccer Field and be in accordance with the Contract Documents, and no additional compensation will be allowed therefor.

BID ITEM NO 45: Measurement and Payment for Export of Miscellaneous Spoils shall be at the price bid per cubic yard and shall include, but not limited to, all labor, materials, equipment, and incidentals required to complete the export of all miscellaneous spoils located throughout the entire project area that may be designated by the City

Engineer to be removed including disposal to an approved offsite location, and all items necessary to be complete in place and be in accordance with the Contract Documents, and no additional compensation will be allowed therefor.

**MEASUREMENT AND PAYMENT
FOR
WESTLAKE VILLAGE COMMUNITY PARK –
PHASE IIB – LANDSCAPE & IRRIGATION
BID ALTERNATE**

BID ALTERNATE ITEM NO 1: Measurement and Payment for Purchase and Install Scorer's Table at Baseball Field #1 shall be at the price bid per each and shall include, but not limited to, all labor, materials, equipment, and incidentals required to complete the purchase and installation of scorer's table at baseball field #1 (including connections and installation) and be in accordance with the Contract Documents, and no additional compensation will be allowed therefor.

BID ALTERNATE ITEM NO 2: Measurement and Payment for Interpretive Signage shall be at the lump sum price bid and shall include, but not limited to, all labor, materials, equipment, and incidentals required to complete the purchase and installation interpretive signage at various locations within the community park and be in accordance with the Contract Documents, and no additional compensation will be allowed therefor.

BID ALTERNATE ITEM NO 3: Measurement and Payment for Construct Batting Cage at Baseball Field #1 shall be at the price bid per each and shall include, but not limited to, all labor, materials, equipment, and incidentals required to complete the purchase and installation of all batting cage components at baseball field #1 (including excavation, re-compaction, footings, vinyl fence, netting, connections, concrete paving, gates, posts, mat, roof, curbing, furnishings) with all items necessary to be a fully functional system complete in place and be in accordance with the Contract Documents, and no additional compensation will be allowed therefor.

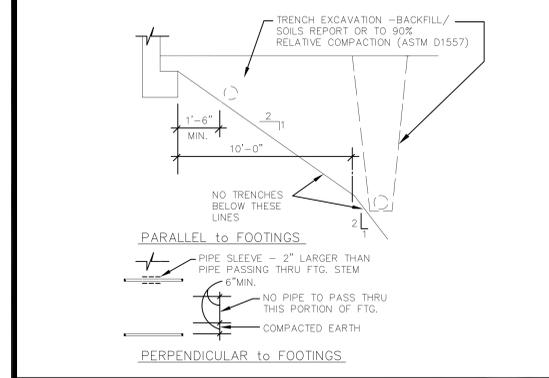
BID ALTERNATE ITEM NO 4: Measurement and Payment for Construct Bull Pen at Baseball Field #1 shall be at the price bid per each and shall include, but not limited to, all labor, materials, equipment, and incidentals required to complete the purchase and installation of all bull pen components at baseball field #1 (including excavation, re-compaction, footings, vinyl fence, netting, connections, turf, gates, posts, roof, furnishings) with all items necessary to be a fully functional system complete in place and be in accordance with the Contract Documents, and no additional compensation will be allowed therefor.

BID ALTERNATE ITEM NO 5: Measurement and Payment for Purchase and Install Bike Rack at Baseball Field #1 shall be at the price bid per each and shall include, but not limited to, all labor, materials, equipment, and incidentals required to complete the

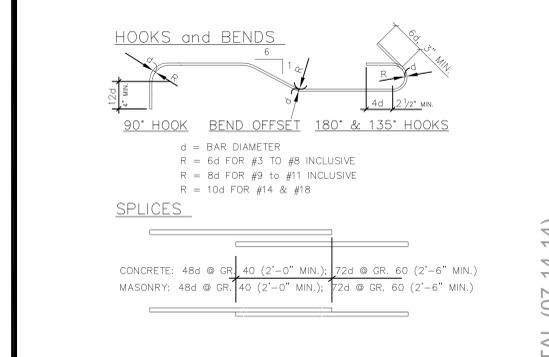
purchase and installation of bike rack at baseball field #1 and be in accordance with the Contract Documents, and no additional compensation will be allowed therefor.

BID ALTERNATE ITEM NO 6: Measurement and Payment for Purchase and Install Storage Building at Baseball Field #1 shall be at the lump sum price bid and shall include, but not limited to, all labor, materials, equipment, and incidentals required to complete the purchase and installation of all storage building components at baseball field #1 (including excavation, re-compaction, footings, concrete slab, reinforcement, CMU block, roof, gate, furnishings) with all items necessary to be a fully functional system complete in place and be in accordance with the Contract Documents, and no additional compensation will be allowed therefor.

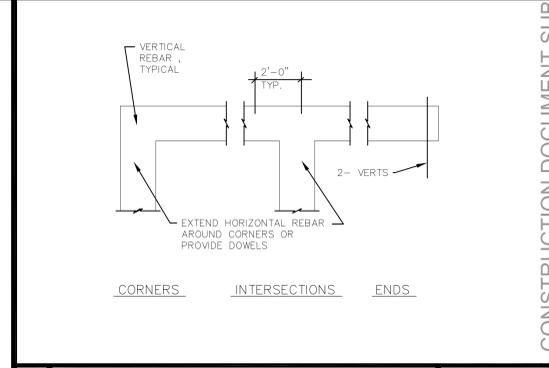
PROJECT PLAN SHEET SD-1



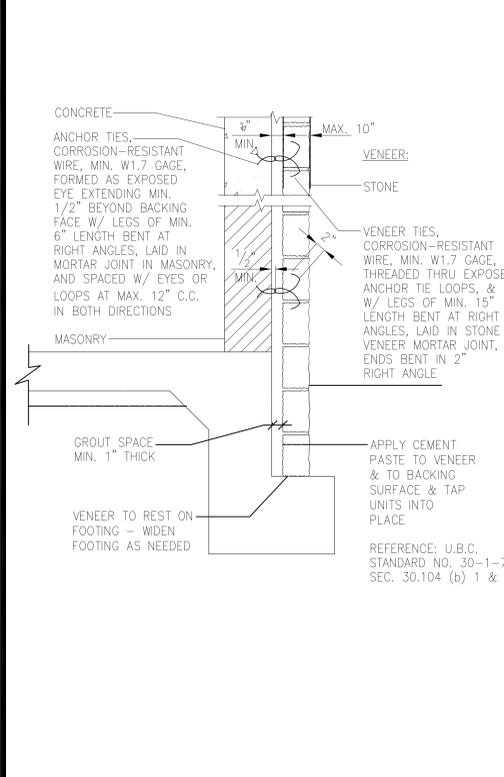
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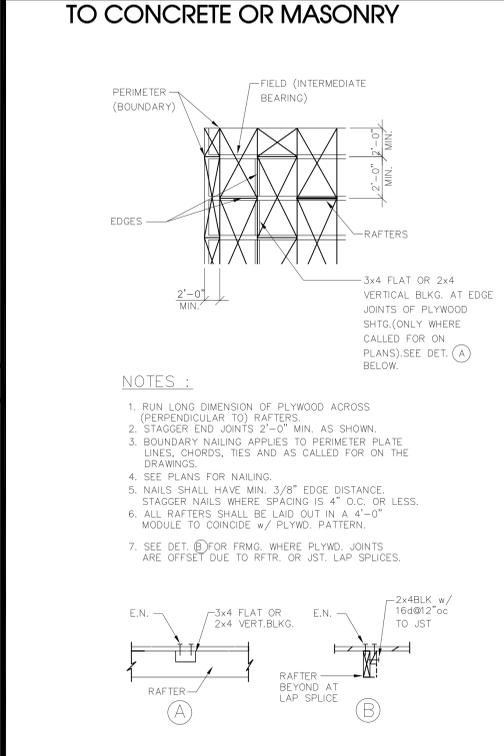
2 TYP. REINFORCING BAR DETAIL NO SCALE



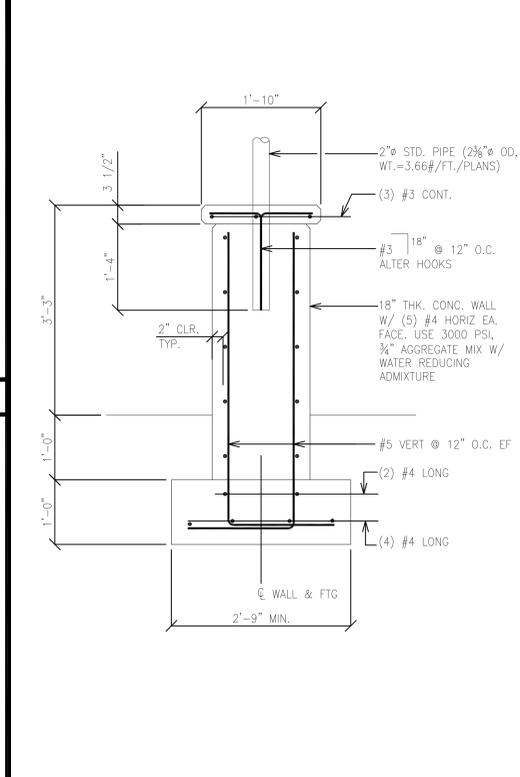
3 TYP. REINFORCING @ FOOTINGS & WALL CORNER AND INTERSECTIONS NO SCALE



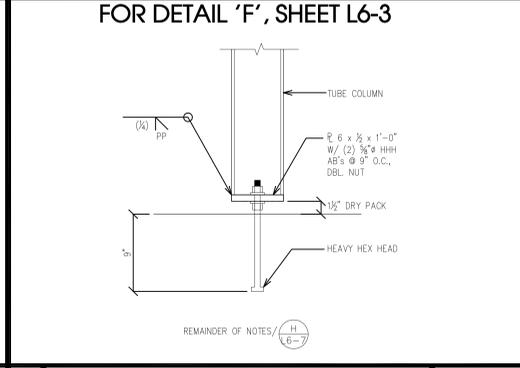
4 STONE VENEER UNITS ANCHORED TO CONCRETE OR MASONRY NO SCALE



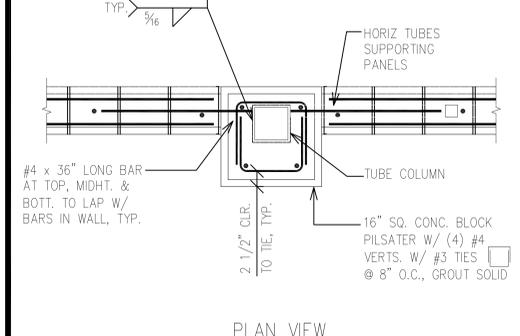
5 PLYWOOD DETAIL NO SCALE



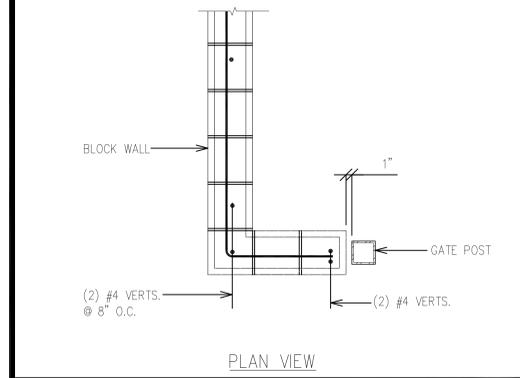
6 P.I.P. WALL DETAIL FOR DETAIL 'F', SHEET L6-3 NO SCALE



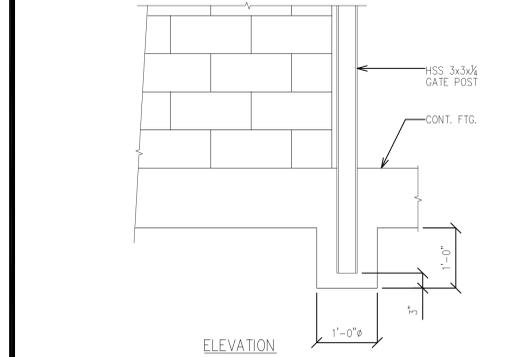
7 TUBE COLUMN ATTACHMENT NO SCALE



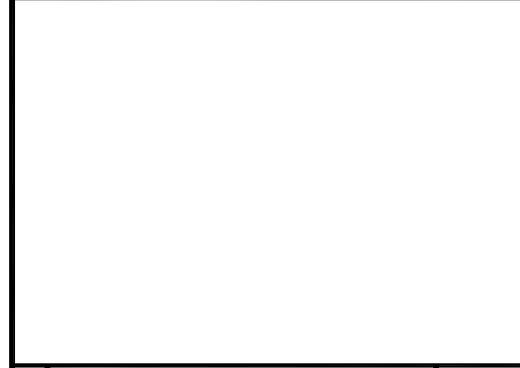
8 DUGOUT DETAIL NO SCALE



9 STORAGE BLDG NO SCALE



10 STORAGE BLDG NO SCALE



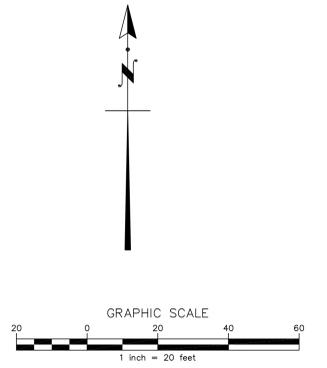
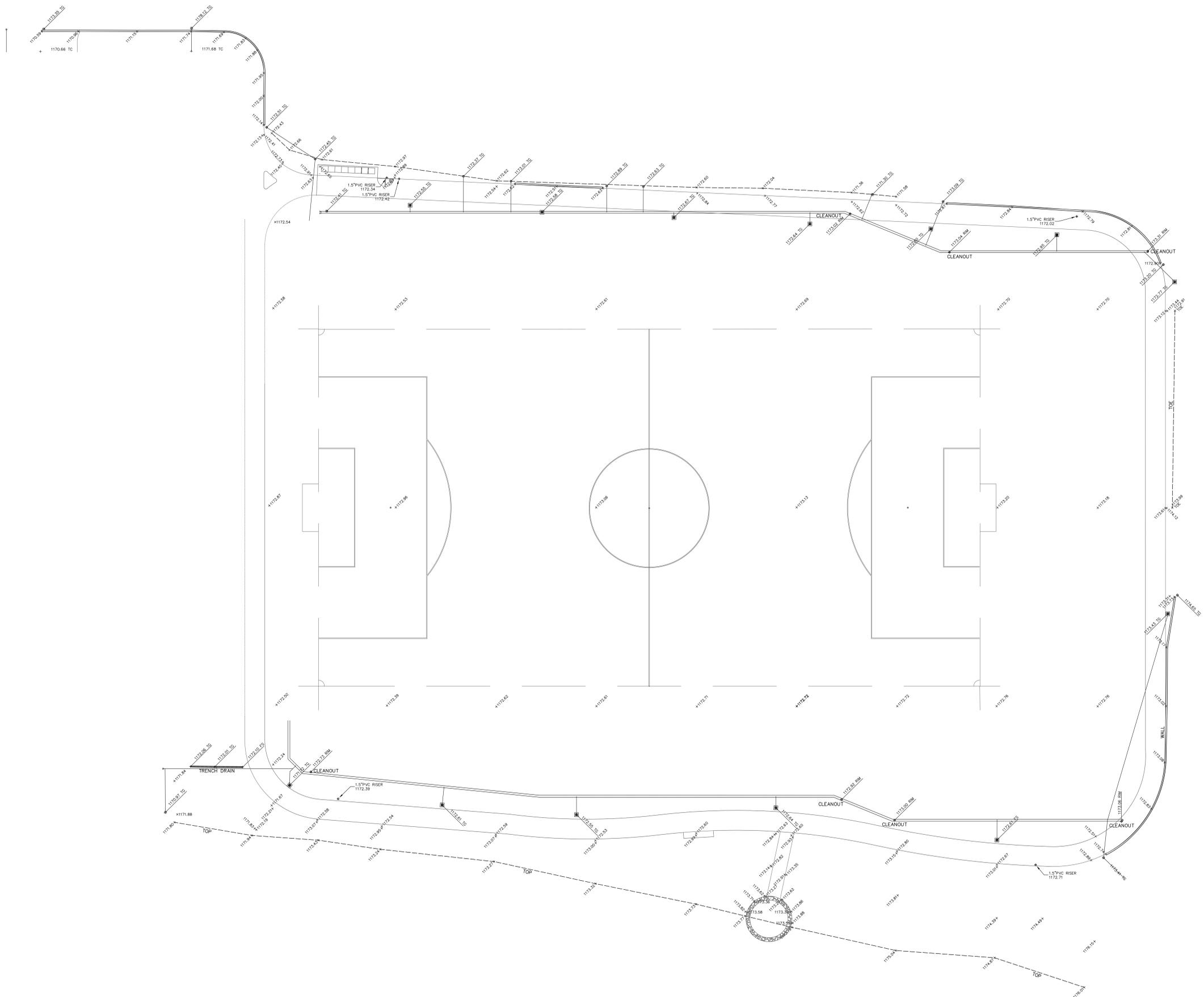
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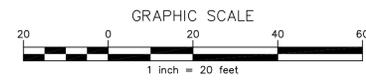
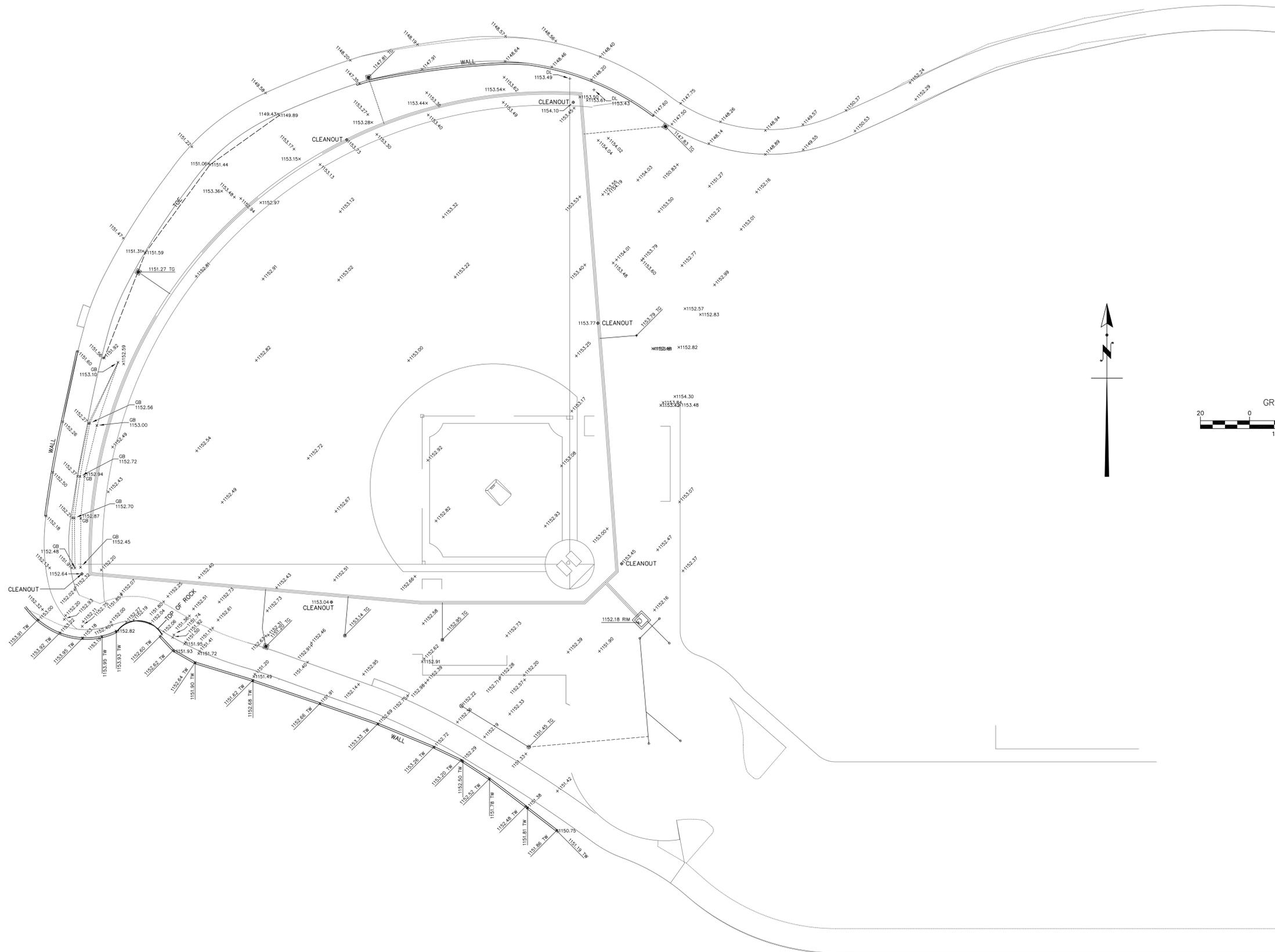


NO SCALE

100% CONSTRUCTION DOCUMENT SUBMITTAL (07-14-14)

**AS-BUILT SURVEY OF SOCCER
FIELD AND BASEBALL FIELD #1**





PLAN HOLDER'S LIST

RECORD OF BID DOCUMENTS

PROJECT MANAGER: John F. Knipe

PHONE #818 706-1613

PROJECT NAME: WLV Community Park – Phase 2B – Park Improvements Engineer’s Estimate = \$1,250,000

Amount Per Set \$60.00 If Mailed \$80.00

Bid Opening: Nov. 22, 2016 at 10:30 AM

DATE ISSUED	FIRM NAME & ADDRESS (Legal Street Address of Firm)	NAME OF INDIVIDUAL RECIPIENT TELEPHONE NO. OF FIRM	AMOUNT	FEE OR DEPOSIT		Documents Issued				Addenda				
				C H E C K	C A S H	DATE REC'D	DATE RET'D	NO. OF SETS	SET NOS.	1	2	3	4	5
10/25/16	International Line Builders, Inc. 1055 Montecito Drive Corona, CA 92879	Ashley Esparza Direct Office Number (951)682-2982 Secure Fax Number (951) 848-0886 Cell Number (951) 529-5827 Ashley.Esparza@ilbinc.com	---	--	--			1	Email PDF	6	7	8	9	-
10/25/16	Environmental Construction, Inc. 21550 Oxnard St. #1050 Woodland Hills, CA. 91367	Lara Jingeuzian 818-449-8920 818-703-9073-Fax ljingeuzian@environcon.com estimating@environcon.com	---	--	--			1	Email PDF					
10/25/16	California Commercial Pools 2255 E. Auto Centre Drive Glendora, CA 91740	Wanda Hernandez P 909.394.1280 F 909.394.4579 whernandez@calcommpools.com	---	--	--			1	Email PDF					
10/25/16	Blois Construction 3201 Sturgis Rd. Oxnard, CA 93030	Crissy Cabrera (P) 805-656-1432 (F) 805-485-0338 bidinfo@bloisconstruction.com	---	--	--			1	Email PDF					

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				C H E C K	C A S H	DATE REC'D	DATE RET'D	NO. OF SETS	SET NOS.	1	2	3	4	5
10/25/16	USA Shade and Fabric Structures 1085 N. Main Street, Suite C Orange, CA 92867	Michele Estrella Office: 714-427-6981 Fax: 714-538-2440 mestrella@usa-shade.com	---	--	--			1	Email PDF	6	7	8	9	-
10/25/16	ARC CONSTRUCTION, INC. 3624 Foothill Blvd., #2 La Crescenta, CA 91214	Racquel Sobrino Phone: (818) 249-0703 Fax: (818) 249-9434 racquel@arcconstructioncorp.com info@arcconstructioncorp.com	---	--	--			1	Email PDF					
10/25/16	Hellas Construction, Inc. 9780 N Rowell Fresno, CA. 93720	Dominick Berarducci C: (512) 364-3624 F: (512) 250-1960 dominick@hellasconstruction.com jtryon@hellasconstruction.com jadams@hellasconstruction.com	---	--	--			1	Email PDF					
10/25/16	Horizons Construction Company 432 W Meats Avenue Orange CA 92865	Michael Ortega P: 714-626-0000 F: 714-626-0006 Bidding@horizonscci.com	---	--	--			1	Email PDF					
10/25/16	C.S. Legacy Construction, Inc. 1461 S. East End Ave Pomona, Ca 91766	Richard Gonzales 909-590-2626 909-590-3778 Fax richard@cslegacy.net	---	--	--			1	Email PDF					

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10/25/16	PUB Construction 23545 Palomino dr. #104 Diamond Bar, 91765	Isaac Wilson isaac@publandscape.com	---	--	--			1	Email PDF	6	7	8	9	-
10/25/16	Capo Projects Group 31681 Camino Capistrano – Suite 102, San Juan Capistrano, CA 92675	Chase Wirtz, P.E. Cell 805-558-0707 Office 949-281-6251 ext 806 Email chasewirtz@capopg.com	---	--	--			1	Email PDF					
10/25/16	GMZ Engineering 5739 Kanan Rd #134 Agoura Hills, CA 91301	Ghazi Mubarak (909)714-9779 gmubarak@gmzeng.com	---	--	--			1	Email PDF					
10/25/16	Brightview Landscaping 24151 Ventura Blvd, Calabasas, CA 91302	Trevor Niemerow Trevor.niemerow@brightview.com Dev.chad.benton@brightview.com	---	--	--			1	Email PDF					
10/26/16	ACCESS PACIFIC, INC. 755 E. Washington Blvd. Pasadena, CA 91104	Jessica Picon Tel. 626.792.0616 Fax 626.792.0896 estimating@accesspacificinc.com	---	--	--			1	Email PDF					

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11/4/16	Jaynes Brothers Construction 704 Cayo Grande Ct Newbury Park, Ca 91320	Chase Jaynes 805.797.0472 805.559.0163 cell chase@jaynesbrothers.com	---	--	--			1	Email PDF	<u>6</u>	<u>7</u>	<u>8</u>	<u>9</u>	-
11/4/16	Parsam Construction Inc 3334 Barnes Circle Glendale, CA 91208	Aren Hovanessian 818.236.3633 818.236.3634 fax aren@parsamcorp.com	---	--	--			1	Email PDF					
11/4/16	Unlimited Engineering, Inc. 950 Firestone Circle Simi Valley, CA 93065	Kristina Carter 805-587-7514 P 805-306-1247 F Unlimitedengineering101@yahoo.com	---	--	--			1	Email PDF					
11/4/16	HH Construction 2828 Cochran St #411 Simi Valley, CA 93065	Jake Hunsaker 805.583.3907 805.583.5938 fax hhconstruction@roadrunner.com	---	--	--			1	Email PDF					
10/26/16	Willdan 374 Poli Street, Suite 101 Ventura, CA 93001	John Knipe (805) 653-6597 (805) 643-0791 fax jknipe@willdan.com	---	--	--			1	001					

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PHONE #818 706-1613

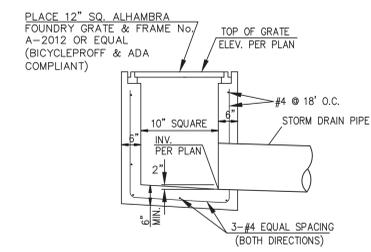
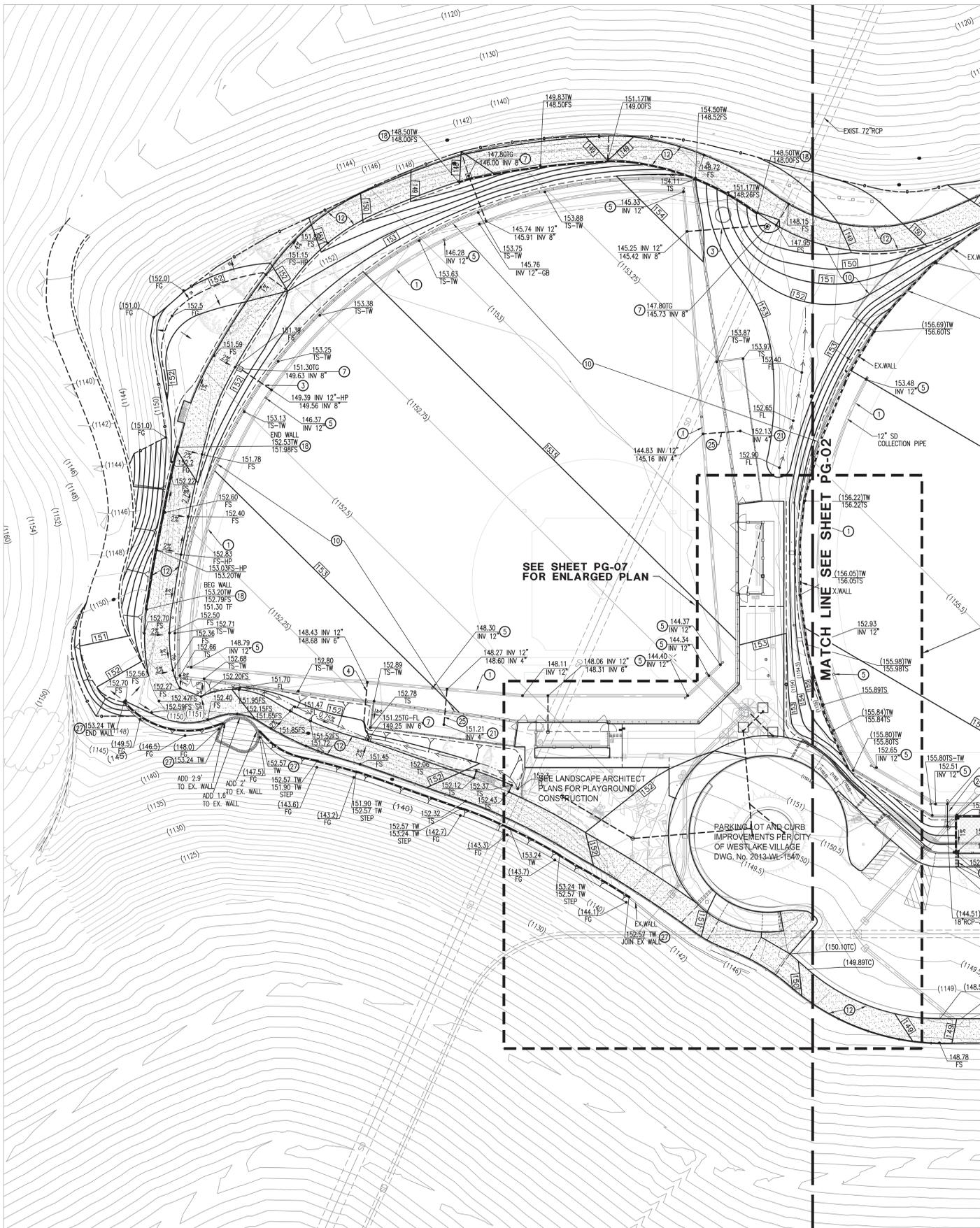
PROJECT NAME: WLV Community Park – Phase 2B – Park Improvements Engineer's Estimate = \$1,250,000

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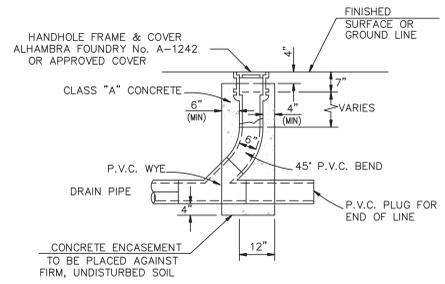
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	Place Business Card or write in							1	008	6	7	8	9	-
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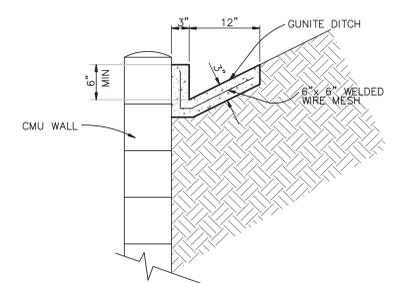
PHASE 2A PLANS
(FOR UTILITY REFERENCE ONLY)



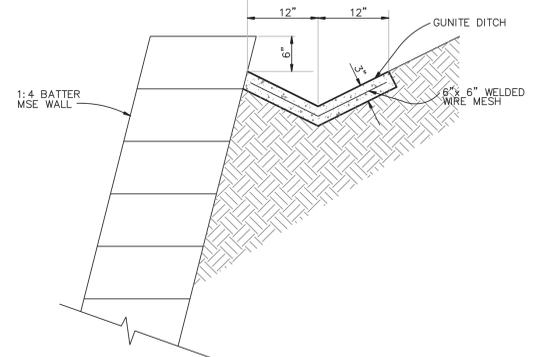
12'x12' GRATE INLET
N.T.S.



STORM DRAIN CLEANOUT
SCALE: 1/2" = 1'



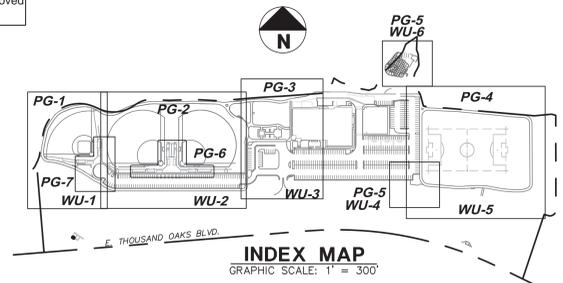
GUNITITE DITCH DETAIL
NOT TO SCALE



GUNITITE DITCH DETAIL
NOT TO SCALE

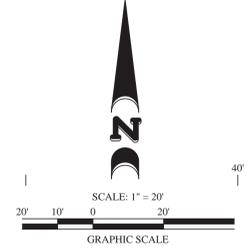
Note: All excess dirt, either from the soccer fields or other work areas, shall be removed from the project site.

NOTE:
FOR ALL PROPOSED ELEVATIONS ADD
1,000 FEET.



CONSTRUCTION NOTES

- 1 CONSTRUCT 12" PERFORATED HDPE PIPE PER DETAIL G, SHEET L6-5, ARCHITECT'S PLANS.
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- 7 CONSTRUCT 12"x12" GRATED INLET PER DETAIL 7 ON SHEET PG-01.
- 8 CONSTRUCT CONCRETE COLLAR PER SPPWC STD. PLAN 380-4.
- 9 CONSTRUCT SURFACE PER ARCHITECT'S PLANS.
- 10 CONSTRUCT SYNTHETIC TURF PER ARCHITECT'S PLANS.
- 11 CONSTRUCT 4" PCC, COLOR & FINISH PER ARCHITECT'S PLANS.
- 12 CONSTRUCT ALL WEATHER TRAIL SURFACING PER ARCHITECT'S PLANS.
- 13 CONSTRUCT 6" PCC, COLOR & FINISH PER ARCHITECT'S PLANS.
- 14 CONSTRUCT CURB RAMP TYPE 1 PER SPPWC STD. PLAN 111-5 CASE B TYPE 1, MODIFIED.
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- 20 INSTALL PLAY AREA SUMP DRAIN PER DETAIL G ON SHEET L5-6, ARCHITECT PLANS.
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- 34 INSTALL NDS PRE-SLOPED CHANNEL DRAIN, PART NO. DS-191 THROUGH DS-094 WITH NDS GRATE DS-221. (OR EQUAL)
- 35 INSTALL NDS PRE-SLOPED CHANNEL DRAIN IN-LINE CATCH BASIN, PART NO. DS-340 WITH NDS GRATE DS-221. (OR EQUAL)



LEGEND & ABBREVIATIONS

FF	FINISHED FLOOR
TC	TOP OF CURB
FS	FINISHED SURFACE
FG	FINISHED GRADE
BW	BACK OF WALK
EP	EDGE OF PAVEMENT
BC	BEGIN CURVE
EC	END OF CURVE
TW	TOP OF WALL
GB	GRADE BREAK
LP	LOW POINT
TG	TOP OF GRATE
MH	MANHOLE
CB	CATCH BASIN
CO	SEWER CLEANOUT
POC	POINT OF CONNECTION
FL	FLOWLINE
LS	LANDSCAPING
N 49°58'43"W	EXISTING BOUNDARY LINE WITH BEARINGS & DISTANCES
	FINISH GRADE
	EXISTING GRADE
	EXISTING SEWER LINE
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	EXISTING STORM DRAIN LINE
	PROPOSED SEWER LINE
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PROJECT TEAM:
LANDSCAPE ARCHITECT
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SKATEPARK DESIGN
TERRY VALLES
STRUCTURAL ENGINEER
CORREIA CONSULTING AND DESIGN
ARCHITECT (IN COLLABORATION)
CASTLE COOKE
WATG

WESTLAKE VILLAGE COMMUNITY PARK

PARK IMPROVEMENT PLANS

31107 East Thousand Oaks Blvd.
Westlake Village, CA

CITY OF WLW
PROJECT # 2013-WL-1546

SHEET TITLE

PRECISE GRADING AND DRAINAGE PLAN

DATE	REVISION
1/11/16	Added Contour Elevations

STAMP

CHECKED BY	DATE
MJG	10-16-2015

DRAWN BY	JOB NO.
WB	R190095.03

SHEET

PG-01A

SHT 5 OF 92 SHTS

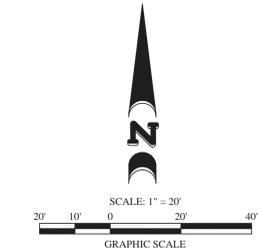
Know what's below.
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DIAL TOLL FREE
8 1 1
AT LEAST TWO DAYS BEFORE YOU DIG

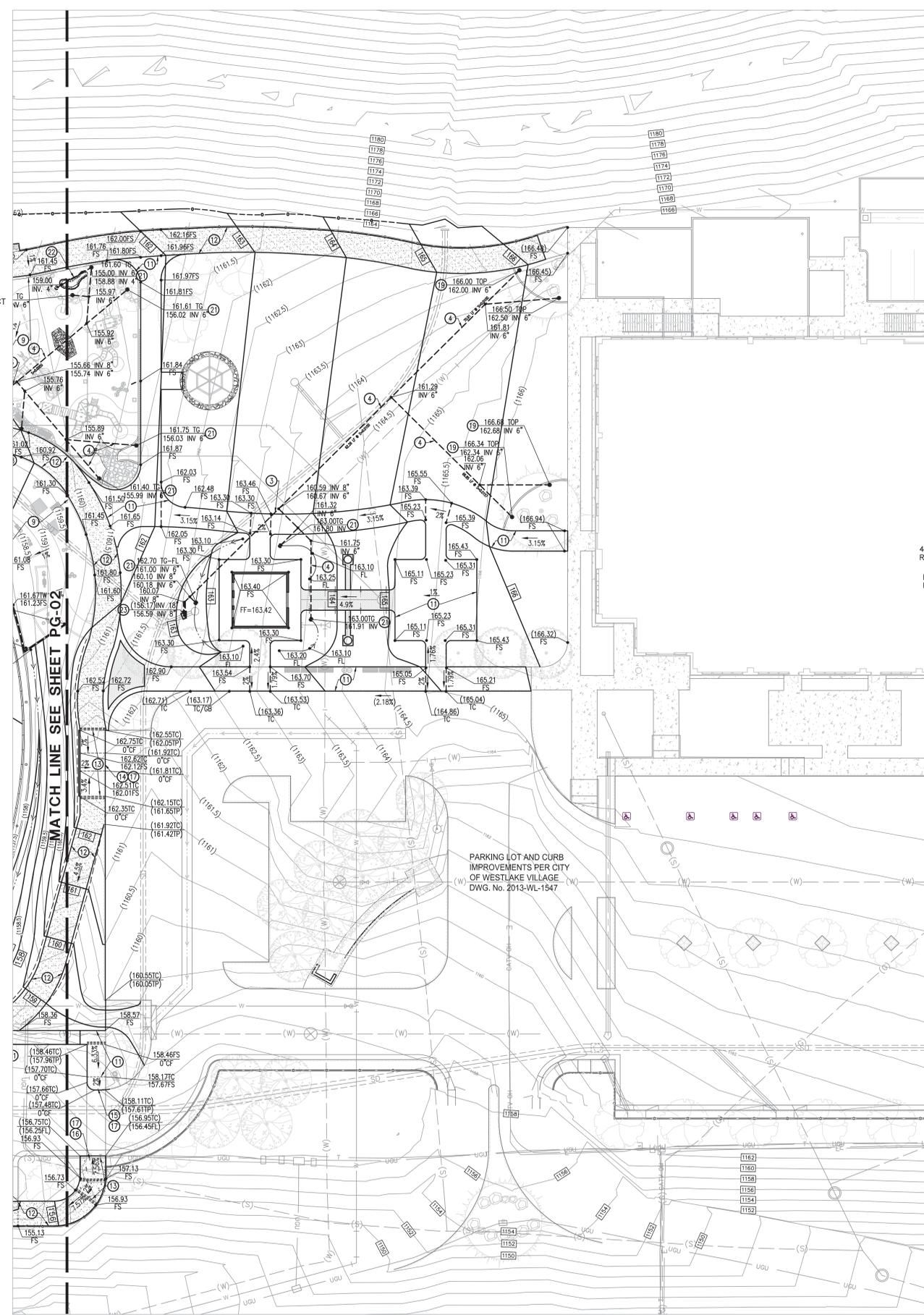
UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

CONSTRUCTION NOTES

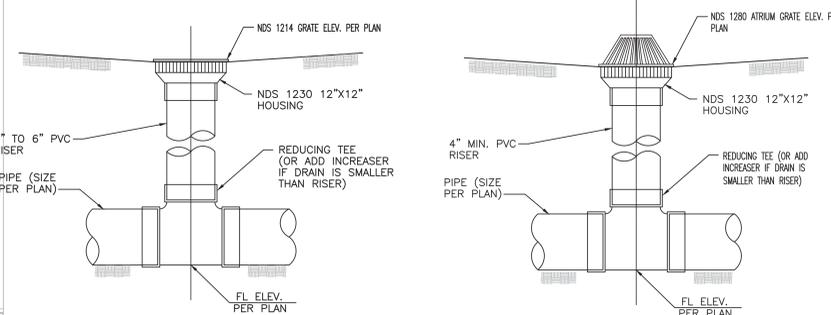
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SEE LANDSCAPE ARCHITECT PLANS FOR PLAYGROUND CONSTRUCTION



PARKING LOT AND CURB IMPROVEMENTS PER CITY OF WESTLAKE VILLAGE DWG. No. 2013-WL-1547



12"x12" AREA DRAIN DETAILS
SCALE: 1" = 1'

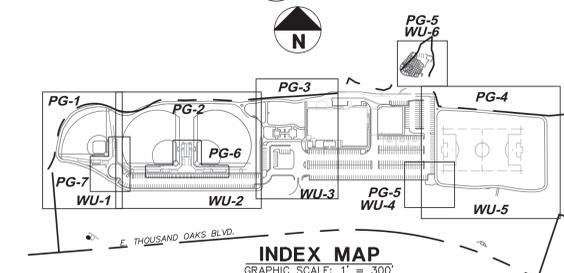
LEGEND & ABBREVIATIONS

- FF FINISHED FLOOR
- TC TOP OF CURB
- FS FINISHED SURFACE
- FG FINISHED GRADE
- BW BACK OF WALK
- EP EDGE OF PAVEMENT
- BC BEGIN CURVE
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- TW TOP OF WALL
- GB GRADE BREAK
- LP LOW POINT
- TG TOP OF GRATE
- MH MANHOLE
- CB CATCH BASIN
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- POC POINT OF CONNECTION
- FL FLOWLINE
- LS LANDSCAPING
- N 49°58'43"W EXISTING BOUNDARY LINE WITH BEARINGS & DISTANCES
- 1165 FINISH GRADE
- 1168 EXISTING GRADE
- (S) EXISTING SEWER LINE
- (W) EXISTING WATER LINE
- (W) EXISTING STORM DRAIN LINE
- S PROPOSED SEWER LINE
- W PROPOSED WATER LINE
- W PROPOSED STORM DRAIN LINE
- W PROPOSED RETAINING WALL
- W PROPOSED DAYLIGHT LINE
- 1% PROPOSED GRADIENT
- XXXX TC PROPOSED ELEVATIONS
- XXXX FL PROPOSED ELEVATIONS
- (XXXX TC) PARENTHESES INDICATE EXISTING ELEVATIONS

MODEL	SIZE	ROUND PIPE EQUIVALENT
TCD 35	3" X 5"	3
TCD 38	3" X 6"	3
TCD 312	3" X 12"	6
TCD 414	4" X 14"	8
TCD 485	4" X 18"	8
TCD 38D	3" Round	3
TCD 422	4" X 22"	10

MODEL	SIZE	ROUND PIPE EQUIVALENT
TCD 38D	3" Round	3
TCD 48D	4" Round	4
TCD 35	3" X 5"	3
TCD 38	3" X 6"	3
TCD 312	3" X 12"	6
TCD 414	4" X 14"	8
TCD 422	4" X 22"	10

CURB-O-LET DETAILS



NOTE:
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Note: All excess dirt, either from the soccer fields or other work areas, shall be removed from the project site.

811
Know what's below.
Call before you dig.
DIAL TOLL FREE 8 1 1
AT LEAST TWO DAYS BEFORE YOU DIG
UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

MIG
MOORE IACOFANO GOLTSMAN, INC.
105 W. UNION AVE. FULLERTON, CA 92832
TEL: 714.871.9338 FAX: 714.871.1188 www.migfirm.com

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PROJECT TEAM:
LANDSCAPE ARCHITECT: MOORE IACOFANO GOLTSMAN, INC.
CIVIL ENGINEER: HUITT ZOLIARS
IRRIGATION DESIGN: WILLIAMS IDC
ELECTRICAL ENGINEER: LRA ENGINEERS
SKATEPARK DESIGN: TERRY VALLES
STRUCTURAL ENGINEER: CORREIA CONSULTING AND DESIGN
ARCHITECT (IN COLLABORATION): CASTLE COOKE
WATG

WESTLAKE VILLAGE COMMUNITY PARK
PARK IMPROVEMENT PLANS

31107 East Thousand Oaks Blvd.
Westlake Village, CA

CITY OF WL
PROJECT # 2013-WL-1546

PRECISE GRADING AND DRAINAGE PLAN

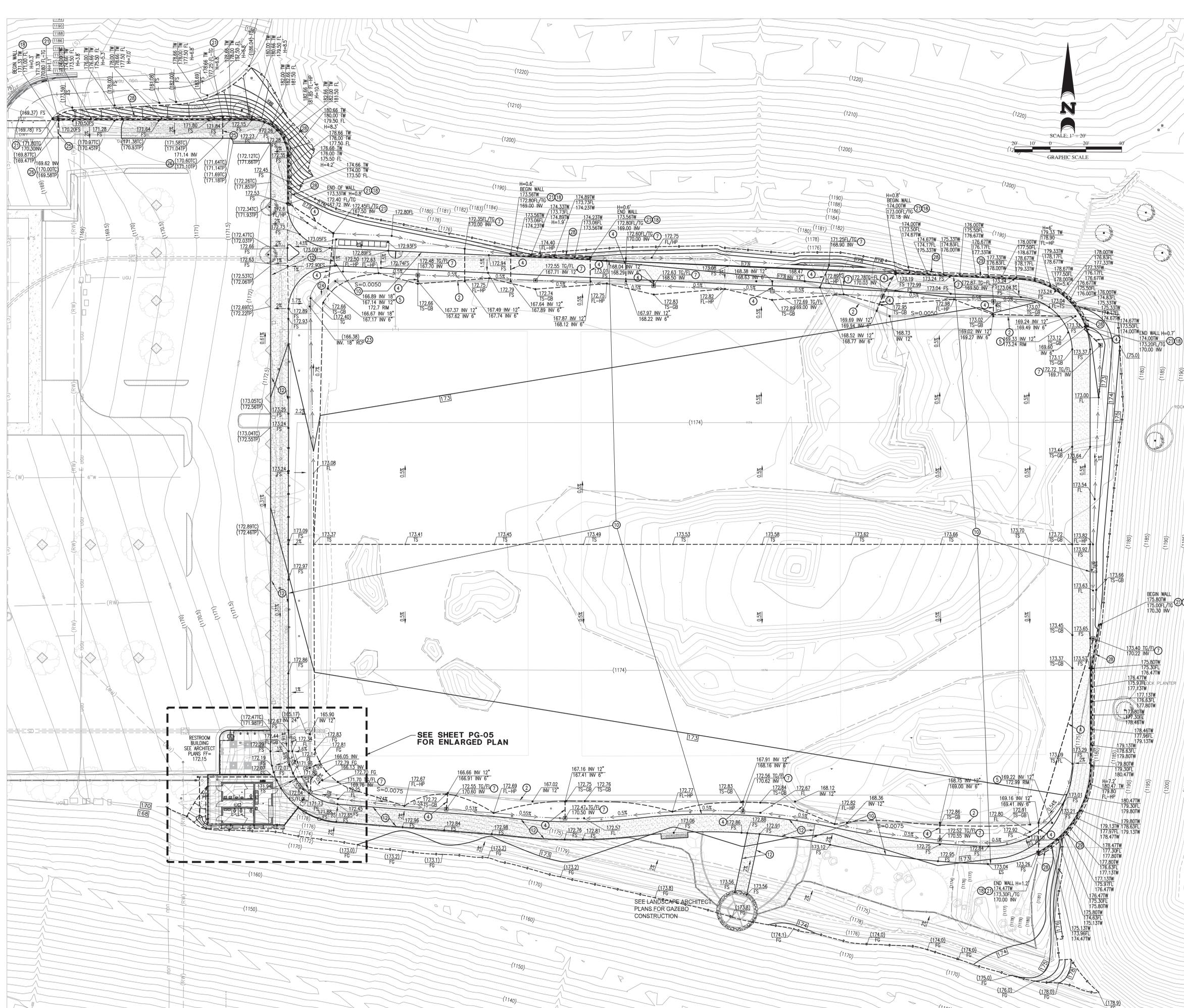
SHEET TITLE

DATE	REVISION
1/11/16	Added Contour Elevations

STAMP
REGISTERED PROFESSIONAL ENGINEER
No. 49158
Expiration 09-30-16
J. HALL

CHECKED BY: DATE: 10-16-2015
DRAWN BY: JOB NO.:
WB R190095.03

SHEET PG-03A
SHT 7 OF 92 SHTS



CONSTRUCTION NOTES

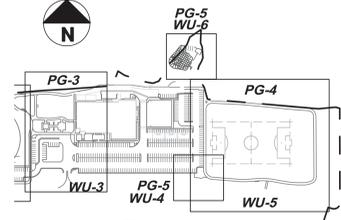
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Note: All excess dirt, either from the soccer fields or other work areas, shall be removed from the project site.

LEGEND & ABBREVIATIONS

- | | |
|--|--|
| FF | FINISHED FLOOR |
| TC | TOP OF CURB |
| FS | FINISHED SURFACE |
| FG | FINISHED GRADE |
| BW | BACK OF WALK |
| EP | EDGE OF PAVEMENT |
| BC | BEGIN CURVE |
| EC | END OF CURVE |
| TW | TOP OF WALL |
| GB | GRADE BREAK |
| LP | LOW POINT |
| TC | TOP OF GRATE |
| MH | MANHOLE |
| CB | CATCH BASIN |
| CO | SEWER CLEANOUT |
| POC | POINT OF CONNECTION |
| FL | FLOWLINE |
| LS | LANDSCAPING |
| - - - - - N 49°58'43"W | |
| EXISTING BOUNDARY LINE WITH BEARINGS & DISTANCES | |
| - - - - - | FINISH GRADE |
| - - - - - | EXISTING GRADE |
| - - - - - (S) | EXISTING SEWER LINE |
| - - - - - (W) | EXISTING WATER LINE |
| - - - - - | EXISTING STORM DRAIN LINE |
| - - - - - s | PROPOSED SEWER LINE |
| - - - - - w | PROPOSED WATER LINE |
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| - - - - - 1% | PROPOSED GRADIENT |
| - - - - - XXXX TC | PROPOSED ELEVATIONS |
| - - - - - (XX.XX TC) | PARENTHESES INDICATE EXISTING ELEVATIONS |



INDEX MAP
GRAPHIC SCALE: 1" = 300'

MOORE IACOFANO GOLTSMAN, INC.
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PROJECT #
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WB	R19005.03

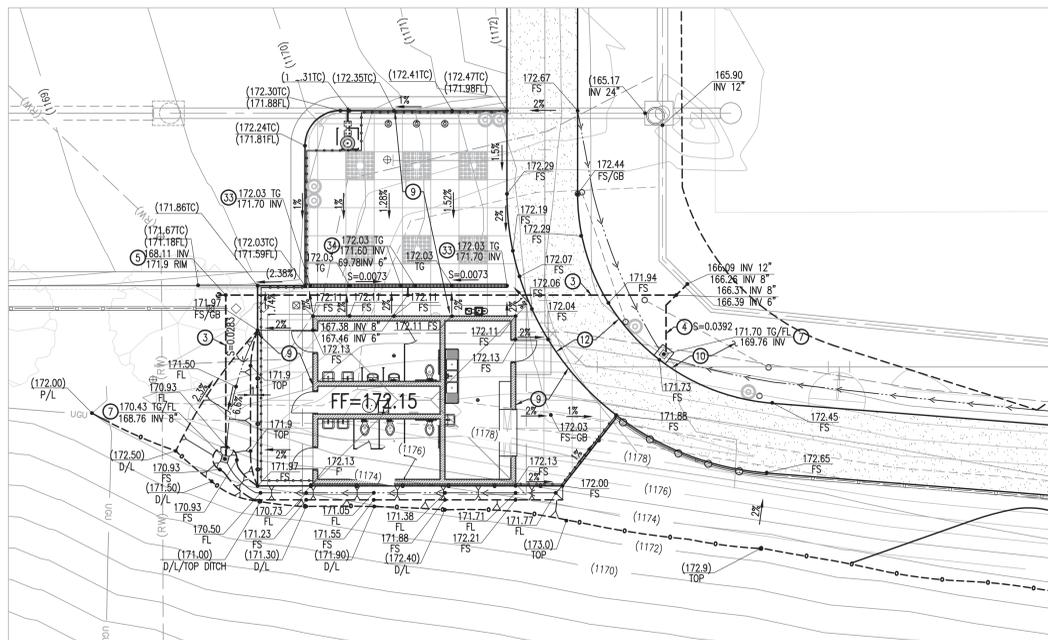
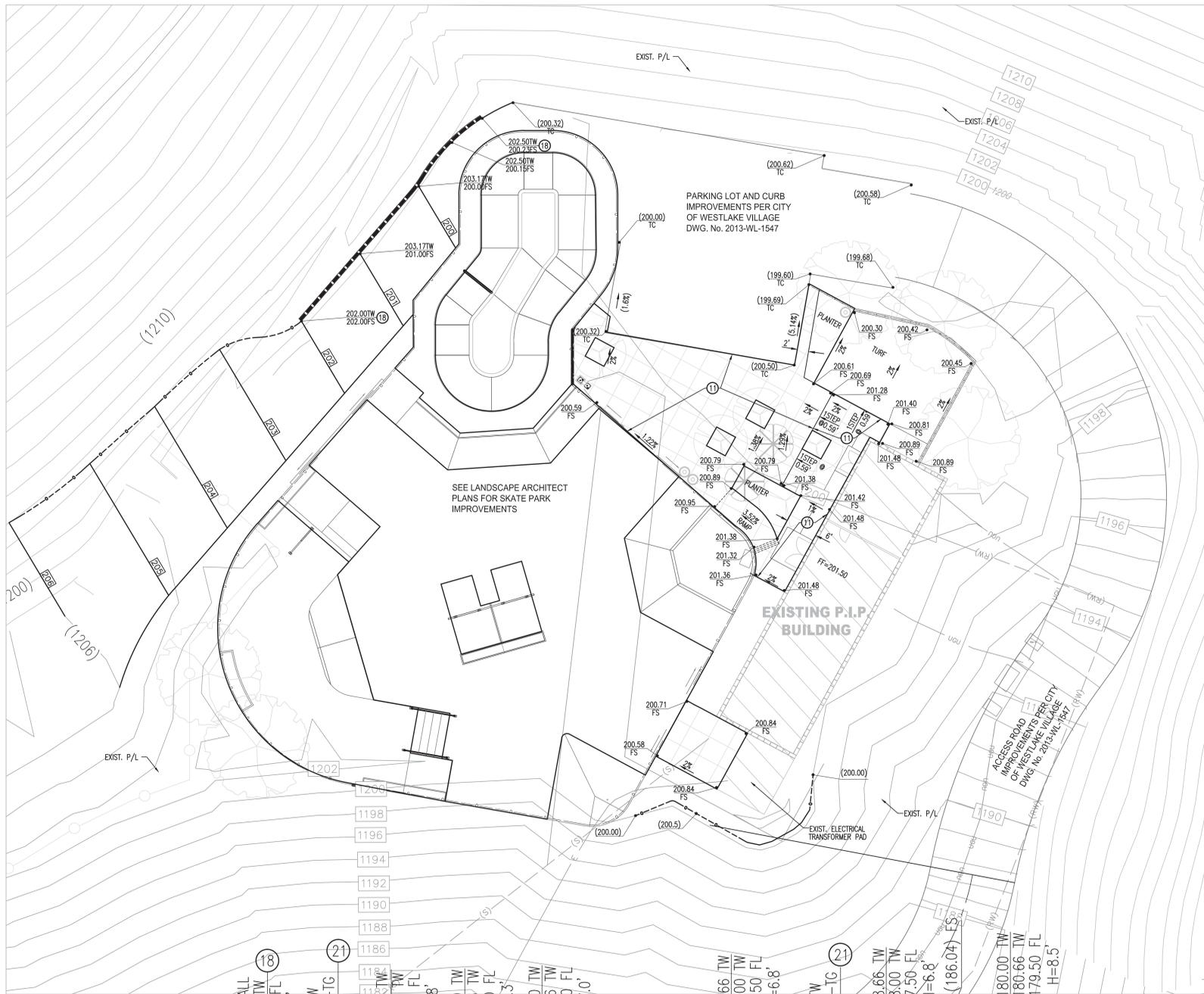
SHEET **PG-04A**

SHT 8 OF 92 SHTS

DIAL TOLL FREE
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Know what's below.
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BEFORE YOU DIG

UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA



RESTROOM

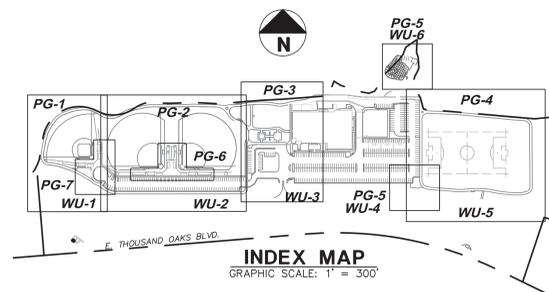
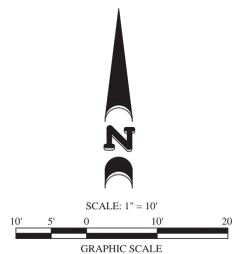
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SKATE PARK

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- 35 INSTALL NDS PRE-SLOPED CHANNEL DRAIN IN-LINE CATCH BASIN, PART NO. DS-340 WITH NDS GRATE DS-221. (OR EQUAL)

LEGEND & ABBREVIATIONS

FF	FINISHED FLOOR
TC	TOP OF CURB
FS	FINISHED SURFACE
FG	FINISHED GRADE
BW	BACK OF WALK
EP	EDGE OF PAVEMENT
BC	BEGIN CURVE
EC	END OF CURVE
TW	TOP OF WALL
GB	GRADE BREAK
LP	LOW POINT
TG	TOP OF GRATE
MH	MANHOLE
CB	CATCH BASIN
CO	SEWER CLEANOUT
POC	POINT OF CONNECTION
FL	FLOWLINE
LS	LANDSCAPING
N 49°58'43"W EXISTING BOUNDARY LINE WITH BEARINGS & DISTANCES	
---	1165 FINISH GRADE
---	1168 EXISTING GRADE
(S)	EXISTING SEWER LINE
(W)	EXISTING WATER LINE
---	EXISTING STORM DRAIN LINE
S	PROPOSED SEWER LINE
W	PROPOSED WATER LINE
---	PROPOSED STORM DRAIN LINE
---	PROPOSED RETAINING WALL
---	PROPOSED DAYLIGHT LINE
---	PROPOSED GRADIENT
XXX TC	PROPOSED ELEVATIONS
XXX FL	PROPOSED ELEVATIONS
(XXX TC)	PARENTHESES INDICATE EXISTING ELEVATIONS



HUITT-ZOLIARS
Huiitt-Zoliars, Inc. Thousand Oaks
90 East Thousand Oaks Blvd
Suite 201
Thousand Oaks, California 91320
P: (805) 419-1802 F: (805) 419-1819

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HUITT ZOLIARS
IRRIGATION DESIGN
WILLIAMS IDC
ELECTRICAL ENGINEER
LRA ENGINEERS
SKATEPARK DESIGN
TERRY VALLES
STRUCTURAL ENGINEER
CORREIA CONSULTING AND DESIGN
ARCHITECT (IN COLLABORATION)
CASTLE COOKE
WATG

**WESTLAKE VILLAGE COMMUNITY PARK
PARK IMPROVEMENT PLANS**

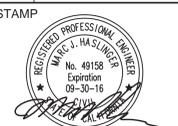
31107 East
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Westlake Village, CA

CITY OF WLW
PROJECT #
2013-WL-1546

SHEET TITLE

PRECISE GRADING AND DRAINAGE PLAN

DATE	REVISION
1/11/16	Added Contour Elevations

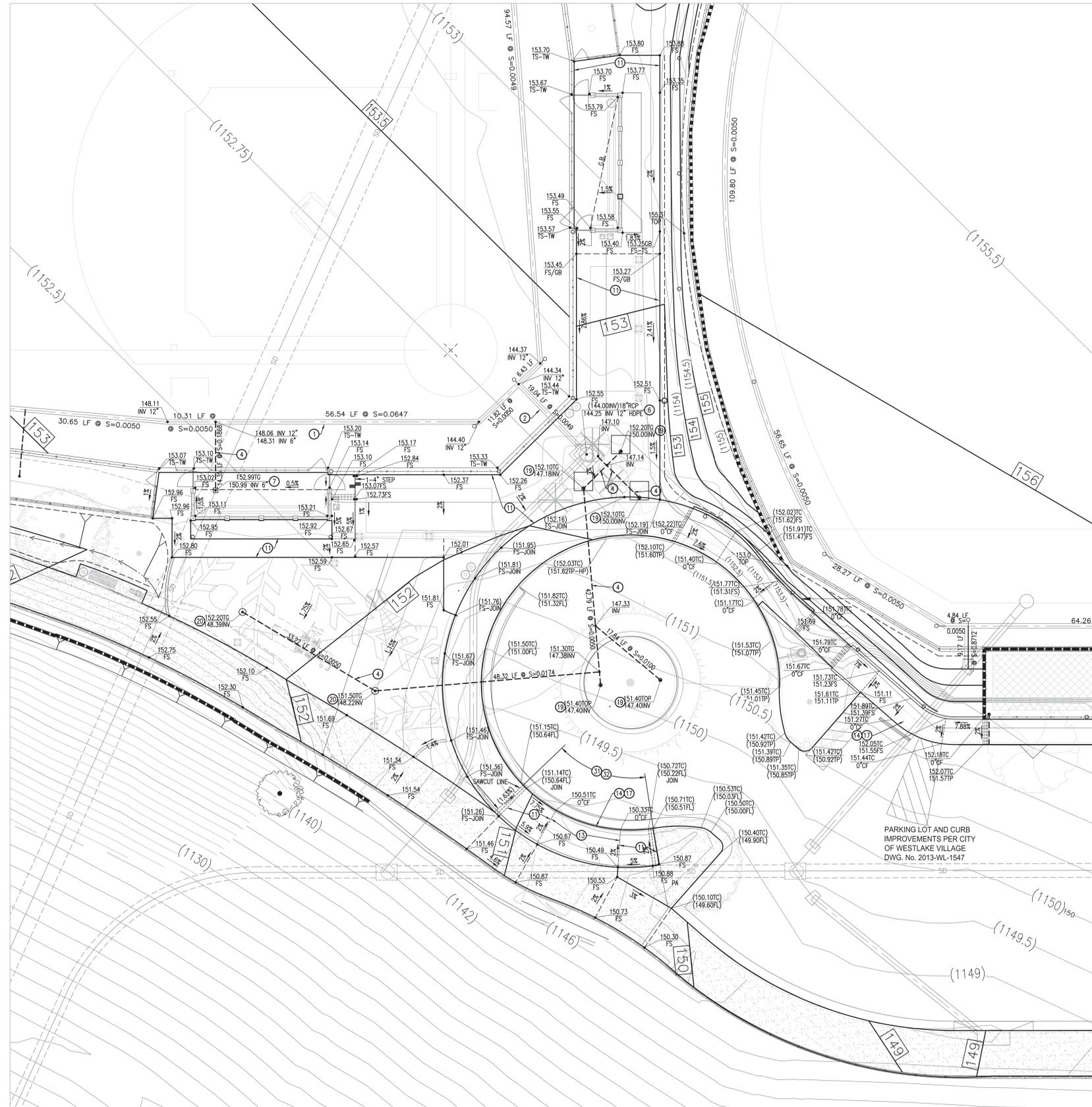


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PG-05A
SHT 9 OF 92 SHTS



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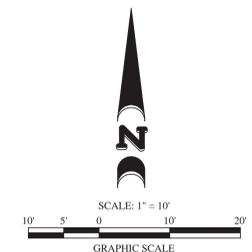


NOTE:
FOR ALL PROPOSED ELEVATIONS ADD
1,000 FEET.

Note: All excess dirt, either from the soccer
fields or other work areas, shall be removed
from the project site.

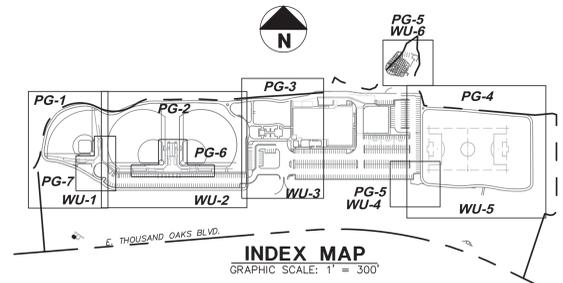
CONSTRUCTION NOTES

- 1 CONSTRUCT 12" PERFORATED HDPE PIPE PER DETAIL G, SHEET L6-5, ARCHITECT'S PLANS.
- 2 CONSTRUCT 12" HDPE STORM DRAIN PIPE.
- 3 CONSTRUCT 8" HDPE STORM DRAIN PIPE.
- 4 CONSTRUCT 6" HDPE STORM DRAIN PIPE.
- 5 CONSTRUCT STORM DRAIN CLEANOUT PER DETAIL 5 ON SHEET PG-01.
- 6 CONSTRUCT STORM DRAIN MANHOLE PER SPPWC STD. 321-2..
- 7 CONSTRUCT 12"x12" GRATED INLET PER DETAIL 7 ON SHEET PG-01.
- 8 CONSTRUCT CONCRETE COLLAR PER SPPWC STD. PLAN 380-4.
- 9 CONSTRUCT SURFACE PER ARCHITECT'S PLANS.
- 10 CONSTRUCT SYNTHETIC TURF PER ARCHITECT'S PLANS.
- 11 CONSTRUCT 4" PCC, COLOR & FINISH PER ARCHITECT'S PLANS.
- 12 CONSTRUCT ALL WEATHER TRAIL SURFACING PER ARCHITECT'S PLANS.
- 13 CONSTRUCT 6" PCC, COLOR & FINISH PER ARCHITECT'S PLANS.
- 14 CONSTRUCT CURB RAMP TYPE 1 PER SPPWC STD. PLAN 111-5 CASE B TYPE 1, MODIFIED.
- 15 CONSTRUCT CURB RAMP TYPE 1 PER SPPWC STD. PLAN 111-5 CASE C TYPE 1, MODIFIED.
- 16 CONSTRUCT CURB RAMP TYPE 1 PER SPPWC STD. PLAN 111-5 CASE A TYPE 1, MODIFIED.
- 17 INSTALL TRUNCATED DOMES PER SPPWC STD. PLAN 111-5.
- 18 RETAINING WALL PER SEPARATE PLANS.
- 19 INSTALL TREE DRAIN PER DETAIL E ON SHEET L7-7, ARCHITECT PLANS.
- 20 INSTALL PLAY AREA SUMP DRAIN PER DETAIL G ON SHEET L5-6, ARCHITECT PLANS.
- 21 INSTALL AREA DRAIN PER DETAIL 21 ON SHEET PG-03.
- 22 INSTALL SAND AREA DRAIN PER DETAIL H ON SHEET L5-6, ARCHITECT PLANS.
- 23 CONSTRUCT CONCRETE COLLAR PER SPPWC STD. 380-4.
- 24 CONSTRUCT 18" HDPE STORM DRAIN PIPE.
- 25 CONSTRUCT 4" HDPE STORM DRAIN PIPE.
- 26 INSTALL CURB-O-LET TCD 35 PER DETAIL 26 ON SHEET PG-03.
- 27 INSTALL SUB DRAIN PER DETAIL H ON SHEET L6-6, ARCHITECT PLANS.
- 28 1:4 MSE RETAINING WALL PER SEPARATE PLANS.
- 29 CONSTRUCT GUNITE DITCH PER DETAIL 28 ON SHEET PG-01.
- 30 CONSTRUCT GUNITE DITCH PER DETAIL 29 ON SHEET PG-01.
- 31 CONSTRUCT JUNCTION STRUCTURE-PIPE TO PIPE PER SPPWC STD. 332-2
- 32 SAWCUT, REMOVE AND DISPOSE OF CONCRETE CURB & GUTTER AND CONCRETE WALK.
- 33 CONSTRUCT CURB & GUTTER A3-6 PER SPPWC STD. PLAN 120-2. (0" CURB FACE THROUGH RAMP.)
- 34 INSTALL NDS PRE-SLOPED CHANNEL DRAIN, PART NO. DS-191 THROUGH DS-094 WITH NDS GRATE DS-221. (OR EQUAL).
- 35 INSTALL NDS PRE-SLOPED CHANNEL DRAIN IN-LINE CATCH BASIN, PART NO. DS-340 WITH NDS GRATE DS-221. (OR EQUAL).



LEGEND & ABBREVIATIONS

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CO	SEWER CLEANOUT
POC	POINT OF CONNECTION
FL	FLOWLINE
LS	LANDSCAPING
N 42°58'43"W	
---	EXISTING BOUNDARY LINE WITH BEARINGS & DISTANCES
---	FINISH GRADE
---	EXISTING GRADE
(S)	EXISTING SEWER LINE
(W)	EXISTING WATER LINE
---	EXISTING STORM DRAIN LINE
s	PROPOSED SEWER LINE
w	PROPOSED WATER LINE
---	PROPOSED STORM DRAIN LINE
---	PROPOSED RETAINING WALL
---	PROPOSED DAYLIGHT LINE
1%	PROPOSED GRADIENT
XXXX TC	PROPOSED ELEVATIONS
(XXXX TC)	PARENTHESES INDICATE EXISTING ELEVATIONS



811
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TEL: 714.871.9838 FAX: 714.871.1188 www.mig.com

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Westlake Village, CA

CITY OF WL
PROJECT #
2013-WL-1546

SHEET TITLE

PRECISE GRADING AND DRAINAGE PLAN

DATE	REVISION
1/11/16	Added Contour Elevations

STAMP



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MJG	10-16-2015
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WB	R190095.03

SHEET

PG-07A

SHT 11 OF 92 SHTS

DATE	REVISION



CHECKED BY	DATE
MJG	10-16-2015
DRAWN BY	JOB NO.
WB	R190095.03

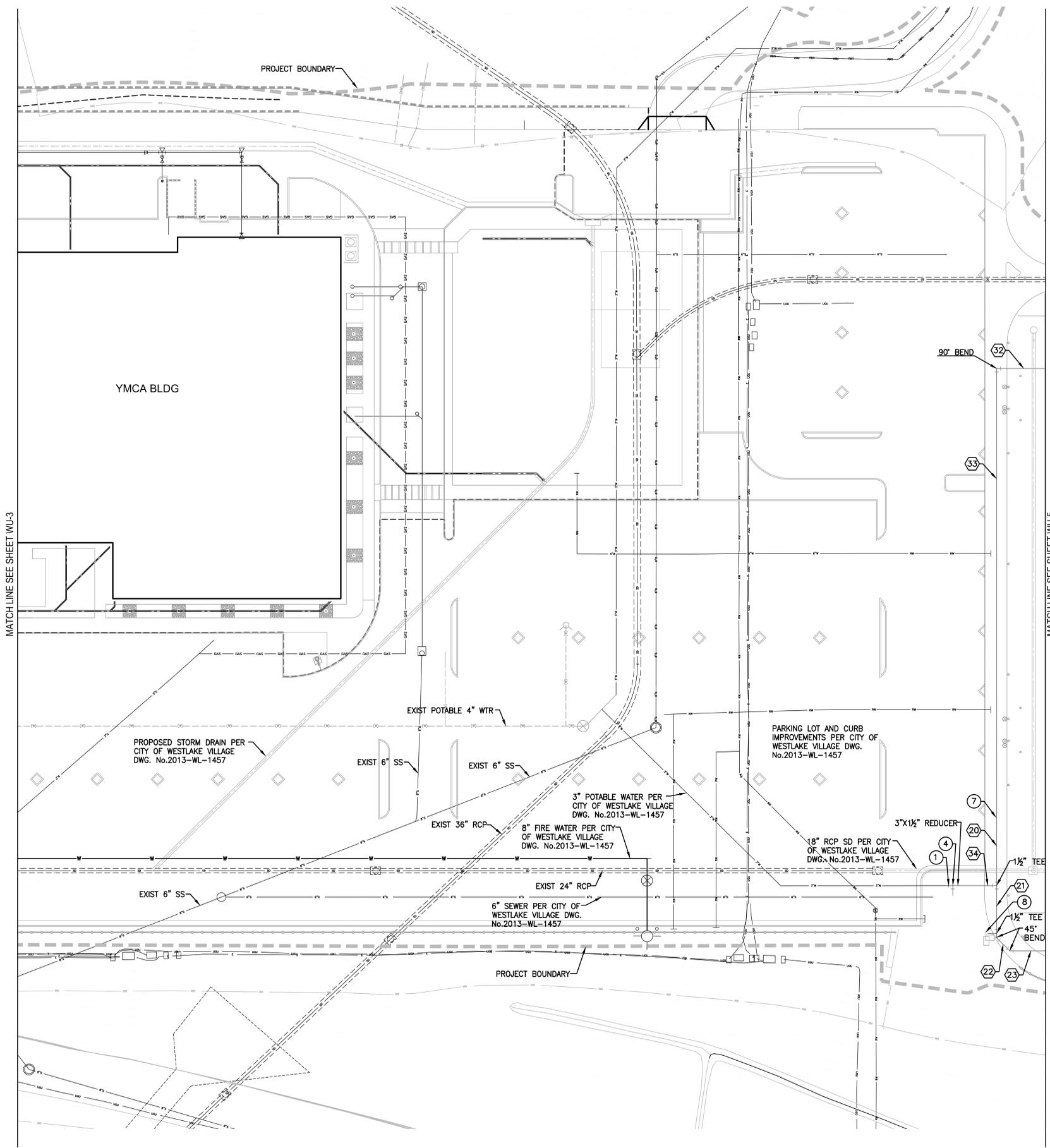
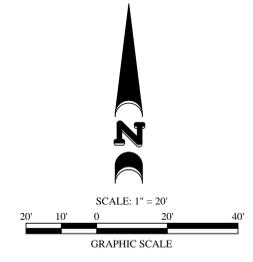
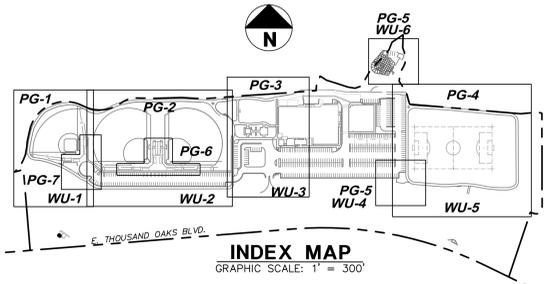
- DOMESTIC WATER CONSTRUCTION NOTES**
- REMOVE PLUG AND JOIN EXISTING WATERLINE.
 - INSTALL 3" WATER LINE SCHEDULE 40 PVC PIPE. 36" COVER UNLESS OTHERWISE NOTED.
 - INSTALL 3"x3"x1/2" TEE
 - INSTALL 3" TEE
 - INSTALL 3"x1/2"x1/2" TEE
 - INSTALL ELBOW AND THRUST BLOCK PER LMMW PLAN PW-133.
 - INSTALL 1/2" WATER LINE SCHEDULE 40 PVC PIPE. 36" COVER UNLESS NOTED.
 - DRINKING FOUNTAIN. SEE LANDSCAPE PLANS.
 - INSTALL WATER PLUG.
 - USE MECHANICAL RESTRAINTS ON ALL JOINTS WITHIN THE DISTANCE NOTED ON THE PLANS.
 - INSTALL 4"x4"x1/2" TEE

- SEWER CONSTRUCTION NOTES**
- INSTALL PRECAST CONCRETE SEWER MANHOLE PER SPPWC 200-3.
 - INSTALL 4" PVC SEWER, SLOPE PER PLAN.
 - INSTALL SEWER CLEANOUT PER SPPWC 204-2.
 - INSTALL 4" 45° WYE.
 - INSTALL 4" 45° BEND.

WATER LINE DATA

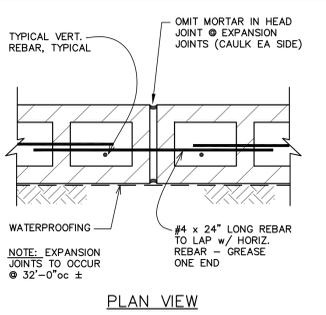
No.	BEARING	LENGTH
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21	N00°00'00"W	21.62'
22	S45°00'00"E	8.28'
23	N90°00'00"E	35.32'
32	N90°00'00"E	40.32'
33	N00°00'00"W	233.85'
34	N90°00'00"E	21.48'

NOTE:
 CONTRACTOR TO VERIFY JOIN LOCATIONS AND ELEVATIONS PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ENGINEER OF RECORD.

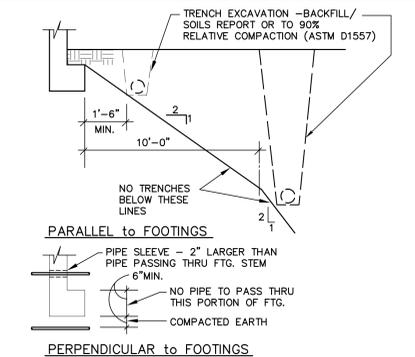


MATCH LINE SEE SHEET WU-3

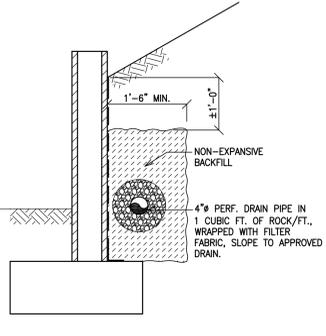
MATCH LINE SEE SHEET WU-5



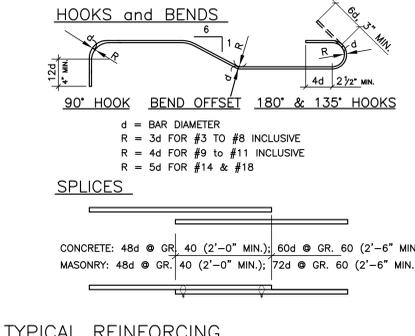
TYPICAL EXPANSION JOINT



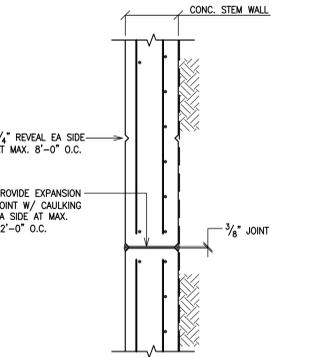
TRENCH DETAIL



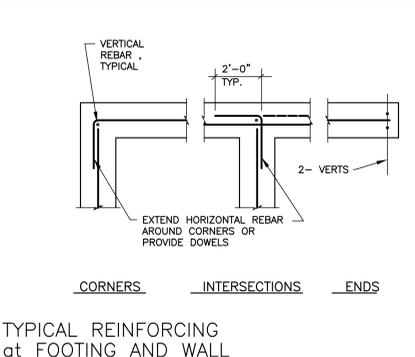
TYPICAL BACKFILL DETAIL



BAR DETAIL



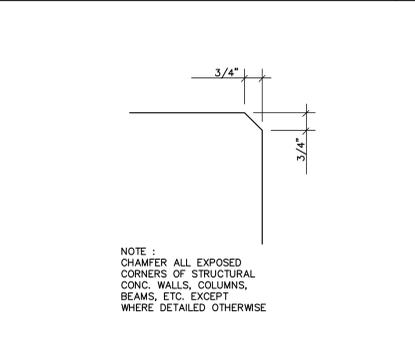
PLAN VIEW AT CONCRETE STEM WALL



CORNERS AND INTERSECTIONS



TYPICAL CONC. CHAMFER



STEPPED FOOTING

GENERAL NOTES

MASONRY

- All masonry shall be reinforced grouted masonry (fm=1500 psi). Grout solid all cells which contain rebar, bolts, etc. Grout solid all cells below grade. See CBC 2105 for quality assurance requirements.
- Mortar shall be Type "S" mixed in the proportion of 1 part Portland Cement to 1/2 to 1/4 parts lime putty to 2 1/4 to 3 times the sum of the cement plus lime putty parts of sand. Full head and bed joints are required.
- Grout shall attain a minimum compressive strength of 2000 psi and shall be mixed in proportions of 1 part Portland Cement to 1/10 part lime putty to 2 to 3 parts sand to a maximum of 2 parts gravel. All grout shall be vibrated.
- Aggregates for mortar and grout shall be natural sand and rock conforming to ASTM C-144 (mortar) and C-404 (grout).
- Cement shall be Portland Cement conforming to ASTM C-150, Type I or II, low alkali.
- All concrete block shall conform to ASTM C90, medium weight.
- All reinforcement, bolts, etc. shall have a minimum grout coverage of 1/2". The clearance between bars in the same cell shall be at least 1 inch.
- All concrete block shall be laid in running bond.
- All rebar shall be positively held into position prior to pouring grout. All vertical foundation dowels shall be straight and match the same size and spacing as the vertical wall reinforcing u.n.o. Additional bars shall be epoxied into footings, if needed, where minimum tolerance to cell wall is not maintained or dowel is not positioned correctly. All vertical rebar shall be one piece full height of wall, u.n.o.
- If work is stopped for one hour or longer, provide horizontal construction joints by stopping the grout 1 1/2" below the top of the block.
- Use low lift grout technique unless specifically approved by the Building Department and the Structural Engineer.

FOUNDATIONS

- All existing fill soil and disturbed natural soils are to be excavated and replaced with properly compacted fill. All filling, backfilling, recompaction, etc. is to be accomplished only under the supervision of a soils engineer.
- All excavations are to be inspected and approved by a Soils Engineer prior to the placement of any concrete or reinforcing steel.
- Footings are to be carried a minimum of 24" into firm undisturbed natural soil or approved compacted fill.
- Design bearing pressure is 3000 psf with a 33% increase for seismic or wind loading.
- Relatively non-expansive fill should be used in backfilling behind walls. All walls shall be adequately shored during the backfill operation.
- All excavations, grading, compaction, etc. shall be accomplished and performed in accordance with the letter as prepared by Geolabs-Westlake Village, W.O. 8939, dated November 23, 2015.

This Soils Report and addendum is hereby made a part of these General Notes and all recommendations contained therein shall be considered as minimums.

CONCRETE

- Unless noted otherwise, all concrete shall attain a minimum compressive strength of 4500 psi at 28 days. Maximum water cement ratio shall be .45.
- Aggregates shall be natural sand and rock conforming to ASTM C53.
- Cement shall be Portland Cement conforming to ASTM C-150, Type II/V, low alkali.
- Water shall be potable, clean and free from injurious amounts of oils, acids, alkalis, salts, organic materials, or other substances that may be deleterious to concrete or reinforcement.
- Admixtures to be used in concrete shall be subject to prior approval by the Engineer.
- Maximum permissible water-cement ratios for concrete shall conform to Table 4.3.1. of ACI 318-11. Maximum slump shall be 5 inches for walls and footings.
- Concrete shall be cured while in a moist condition for at least the first 7 days after placement. Methods for accelerated curing shall have prior approval of the Engineer.
- The following minimum clear distances between reinforcing steel and face of concrete shall be maintained unless noted otherwise:
 - Concrete below grade, formed 2"
 - Concrete below grade, unformed (poured against earth)..... 3"
 - Concrete exposed to weather..... 1 1/2"
- Pipes may pass through structural concrete in sleeves, but shall not be embedded therein. Pipes or ducts exceeding one-third the slab or wall thickness shall not be placed in the structural concrete unless specifically detailed.
- Provide 3/4" chamfers at all exposed corners.
- Refer to landscape architectural drawings for reveals, areas of textured concrete or special finishes and items required to be cast into concrete.
- All concrete shall be vibrated.

FORMWORK, REMOVAL OF FORMS AND SHORES

- The Contractor shall design all forms and supporting shores in conformance with ACI 347-04. Design shall include rate and method of placing concrete and construction loads, including vertical, horizontal, and impact loads. Forms shall be substantial and sufficiently tight to prevent leakage of mortar and properly braced or tied to maintain position and shape.
- Forms shall be removed in such a manner as not to impair safety and serviceability of the structure. All concrete to be exposed by form removal shall have sufficient strength not to be damaged thereby. The ACI Committee 347 suggests the following minimum time forms and supports should remain in place under ordinary conditions:
 - Walls..... 12 Hours
 Reshore until 28 days after placement, and for full duration where construction loads exceed specified service loads. Reshore shall conform to ACI 347-04.

REINFORCING STEEL

- Reinforcing steel shall conform to ASTM A615, Grade 40 for size #3 and Grade 60 for sizes #4 and larger. Maximum yield shall not exceed 1.3 times that specified.
- Welding of reinforcing steel shall conform to AWS D12-1 using proper low hydrogen electrodes. All bars to be welded shall conform to ASTM A706.
- All bars in masonry shall be lapped a minimum of 48 bar diameters (2'-0" min.) for Grade 40 and 72 bar diameters (2'-6" min.) for Grade 60 at all splices unless noted otherwise.
- All bars in concrete shall be lapped a minimum of 48 bar diameters (2'-0" min.) for Grade 40 and 60 bar diameters (2'-6" min.) for Grade 60 at all splices unless noted otherwise.
- Splices of horizontal rebar in walls and footings shall be staggered 4'-0" minimum.
- Dowels for walls and columns shall be the same size and spacing as the wall/column reinforcing unless noted otherwise.
- All bending of reinforcing steel shall conform to the latest edition of the American Concrete Institute and CRSI.

GENERAL

- All construction and workmanship shall conform to the 2013 California Building Code.
- These notes shall be used in conjunction with the plans and any discrepancies shall be brought to the attention of the Landscape Architect/Engineer.
- Contractor must check all dimensions, framing conditions, and site conditions before starting work. Landscape Architect/Engineer shall be notified immediately of any discrepancies or possible deficiencies.
- Conditions not specifically shown shall be constructed similar to the details for the respective materials.
- The drawings and specifications represent the finished structure. All bracing, temporary supports, shoring, etc. is the sole responsibility of the contractor. Observation visits to the job site by the Landscape Architect/Engineer do not include inspection of construction procedures. The contractor is solely responsible for all construction methods and conditions at the worksite. These visits will not be construed as continuous and detailed inspections.
- Design, material, equipment, and products other than those described below or indicated on the drawings may be considered for use, provided prior approval is obtained from the Owner, Landscape Architect/Engineer, and the applicable governing code authority.

TESTS AND INSPECTIONS

- Continuous inspection by a registered deputy inspector is required for all field welding, concrete with a strength greater than 2500 psi, masonry and post-installed concrete and masonry anchors. The extent of such inspection shall conform to Chapter 17 of the California Building Code. An affidavit shall be issued to the Landscape Architect/Engineer and the Building Department at the completion of each type of work stating whether the work was in conformance with the approved plans and specifications. Concrete inspection may be limited to slump tests, compression tests, and inspection of placed rebar.
- The following items require inspection by a licensed Deputy Inspector:

ITEM	YES	NO
Post-Installed Anchors	✓	
Concrete	✓	
Masonry	✓	

* Per Table 1.19.2

TABLE 1.19.2
MINIMUM INSPECTION

Inspection Task	Frequency of		Reference for Criteria	
	Continuous	Periodic	TMS 402/ACI 530/ASCE 5	TMS 402/ACI 530/ASCE 6
1. Verify compliance with the approved submittals		X		Art. 1.5
2. As masonry construction begins, verify that the following are in compliance:				
a. Proportions of site-prepared mortar		X		Art. 2.1, 2.6 A
b. Construction of mortar joints		X		Art. 3.3 B
c. Grade and size of prestressing tendons and anchorages		X		Art. 2.4 B, 2.4 H
d. Location of reinforcement, connectors, and prestressing tendons and anchorages		X		Art. 3.4, 3.6 A
e. Prestressing technique		X		Art. 3.6 B
f. Properties of thin-bed mortar for AAC masonry	X (1)	X (1)		Art. 2.1 C
3. Prior to grouting, verify that the following are in compliance:				
a. Grout space		X		Art. 3.2 B, 3.2 F
b. Grade, type, and size of reinforcement and anchorages		X	Sec. 1.16	Art. 2.4, 3.4
c. Placement of reinforcement, connectors, and prestressing tendons and anchorages		X	Sec. 1.16	Art. 3.2 a, 3.4, 3.6 A
d. Proportions of site-prepared grout and prestressing grout for bonded tendons		X		Art. 2.6 B, 2.4 G.1.b
e. Construction of mortar joints		X		Art. 3.3 B
4. Verify during construction:				
a. Size and location of structural elements		X		Art. 3.3 F
b. Type, size, and location of anchors including other details of anchorage, frames, or other construction		X	Sec. 1.16.4.3, 1.17.1	
c. Welding of reinforcement		X	Sec. 2.1.7.2, 3.3.4 (c), 8.3.4 (b)	
5. Preparation, construction, and protection of masonry during 28°F (5°F) or less weather (temperature above 90°F (32.2°C))		X		Art. 1.8 G, 1.8 D
6. Application and measurement of prestressing force		X		Art. 3.6 B
7. Placement of grout and prestressing grout for bonded tendons is in compliance:		X		Art. 3.5, 3.6 C
a. Placement of AAC masonry units and construction of thin-bed mortar joints	X (1)	X (1)		Art. 3.3 B.8
5. Observe preparation of grout specimens, mortar specimens, and/or prisms		X		Art. 1.4 B.2.a.3, 1.4 B.2.b.3, 1.4 B.2.c.3, 1.4 B.3, 1.4 B.4

(1) Frequency refers to the frequency of inspection, which may be continuous during the task listed or periodically during the listed task, as defined in the table.
(2) Required for the first 2000 square feet (460 square meters) of AAC masonry.
(3) Required after the first 2000 square feet (460 square meters) of AAC masonry.

MIG

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PARK IMPROVEMENT PLANS

31107 East Thousand Oaks Blvd.
Westlake Village, CA

CITY OF WL
PROJECT # 2013-WL-1546

SHEET TITLE

GENERAL NOTES

TYPICAL DETAILS

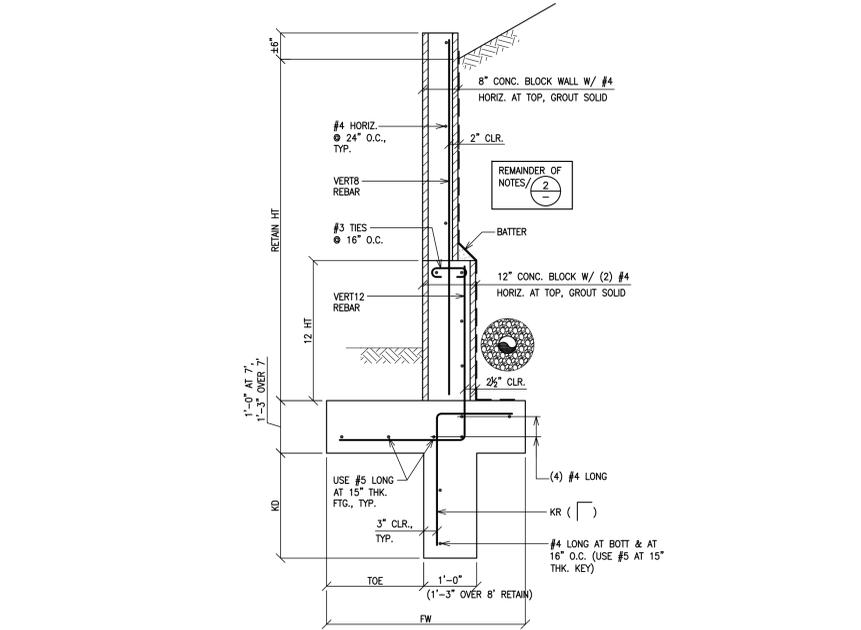
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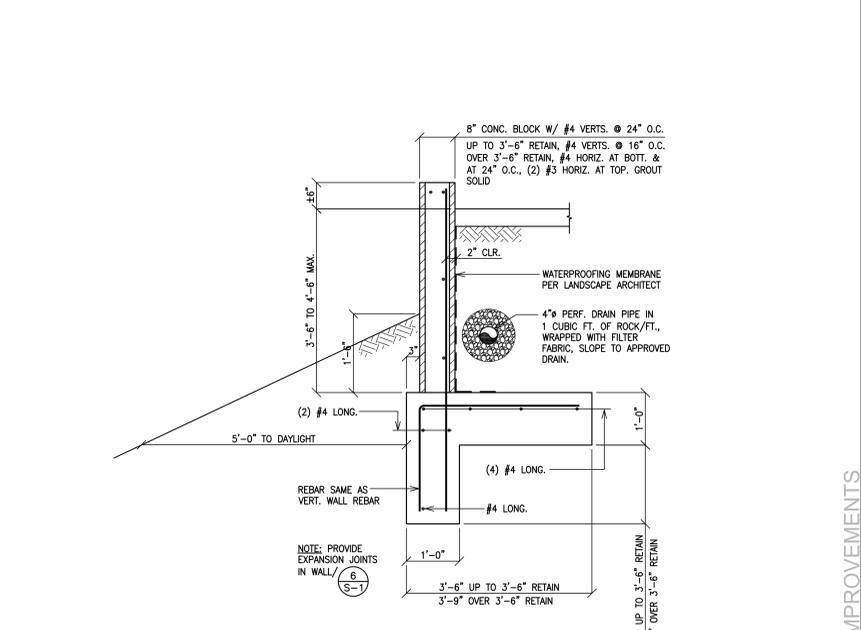
S-1
SHT XX OF XX SHTS

100% CONSTRUCTION DOCUMENT SUBMITTAL - PHASE 1B-ELECTRICAL IMPROVEMENTS



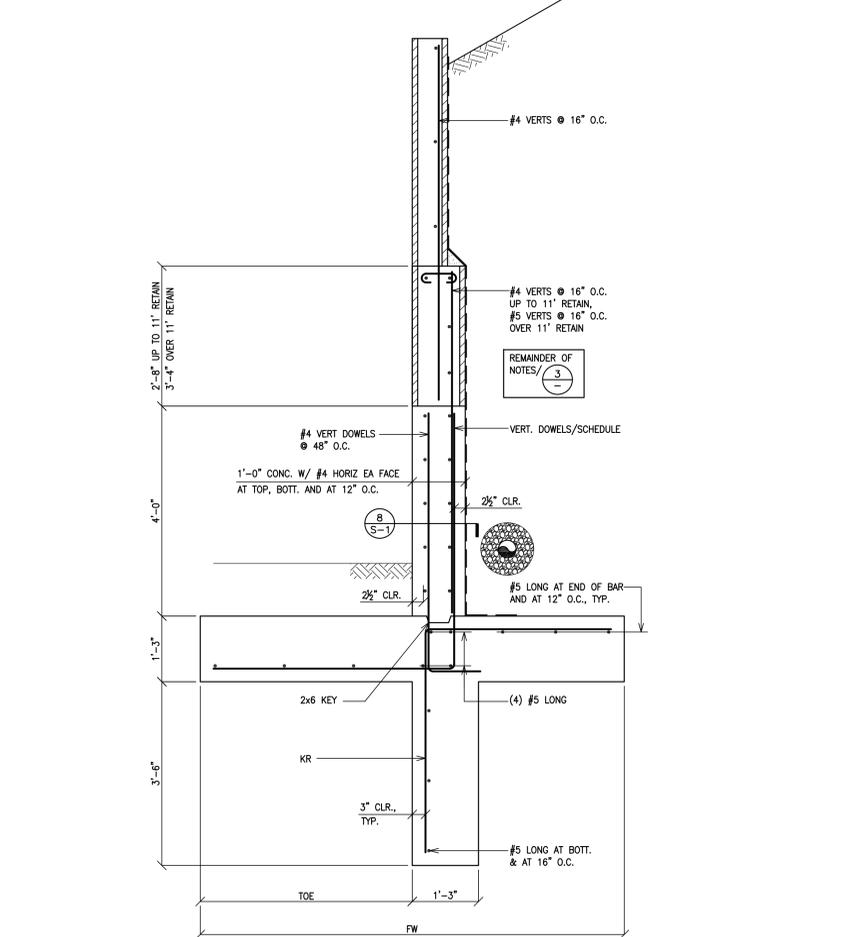
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RETAIN HT.	VERT. 12 REBAR	VERT. 8 REBAR	KR	FW	TOE	KD	12HT
7'-0"	#4 @ 16" O.C.	#4 @ 32" O.C.	#4 @ 24" O.C.	4'-9"	24"	24"	32"
8'-0"	#5 @ 16" O.C.	#4 @ 16" O.C.	#5 @ 16" O.C.	5'-3"	27"	27"	40"
9'-0"	#5 @ 8" O.C.	#4 @ 16" O.C.	#5 @ 16" O.C.	6'-0"	36"	36"	40"
10'-0"	#5 @ 8" O.C.	#4 @ 16" O.C.	#5 @ 16" O.C.	6'-9"	39"	42"	48"

3 RETAINING WALLS 7'-10' (2:1 BACKFILL)



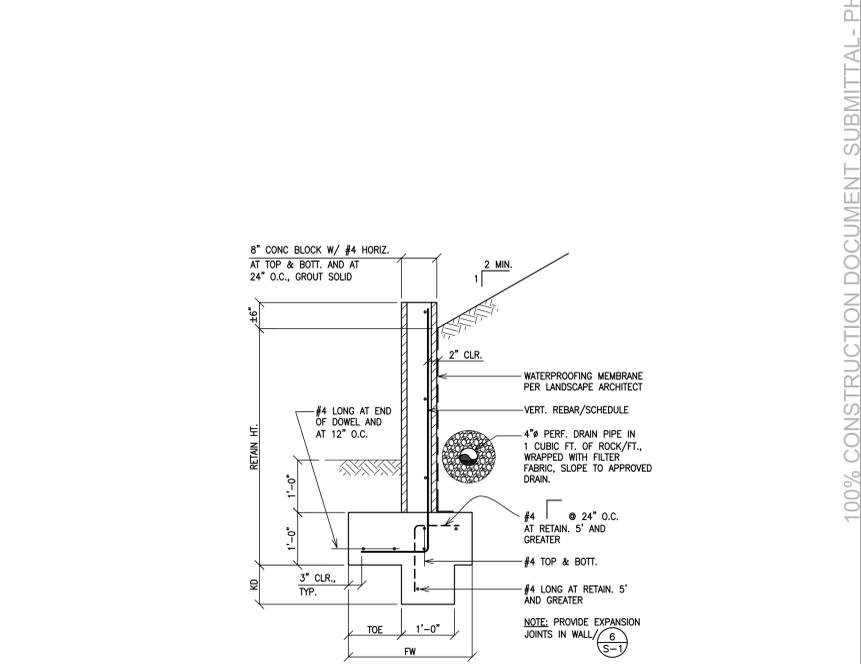
SCHEDULE				
RETAIN HT.	VERT. REBAR	FW	TOE	KD
3'-0"	#4 @ 32" O.C.	2'-0"	8"	0
4'-0"	#4 @ 24" O.C.	2'-9"	12"	9"
5'-0"	#4 @ 24" O.C.	3'-6"	15"	12"
6'-0"	#4 @ 16" O.C.	4'-0"	21"	18"

4 RETAINING WALLS 3'-6' (2:1 BACKFILL)



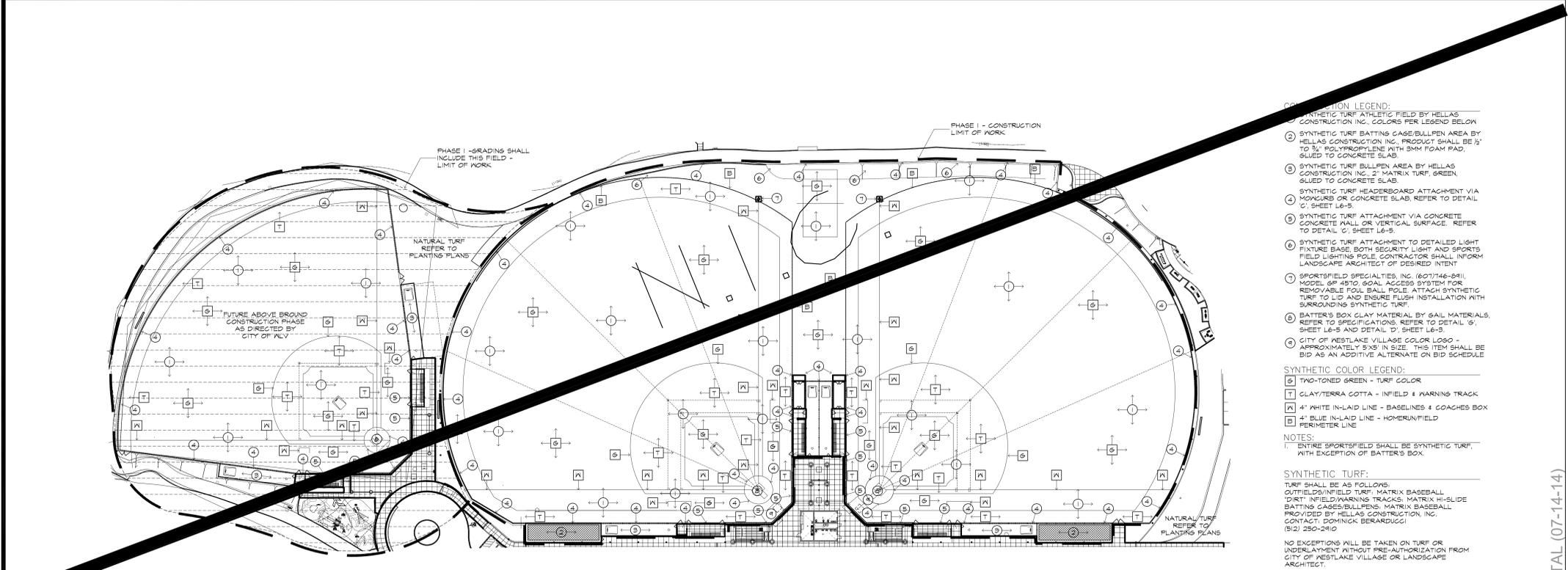
SCHEDULE				
RETAIN HT.	VERT. DOWELS	KR	FW	TOE
11'-0"	#5 @ 8" O.C.	#5 @ 8" O.C.	8'-0"	4'-0"
12'-0"	#7 @ 8" O.C.	#7 @ 8" O.C.	12'-6"	6'-6"

4 RETAINING WALLS 11'-12' (2:1 BACKFILL)

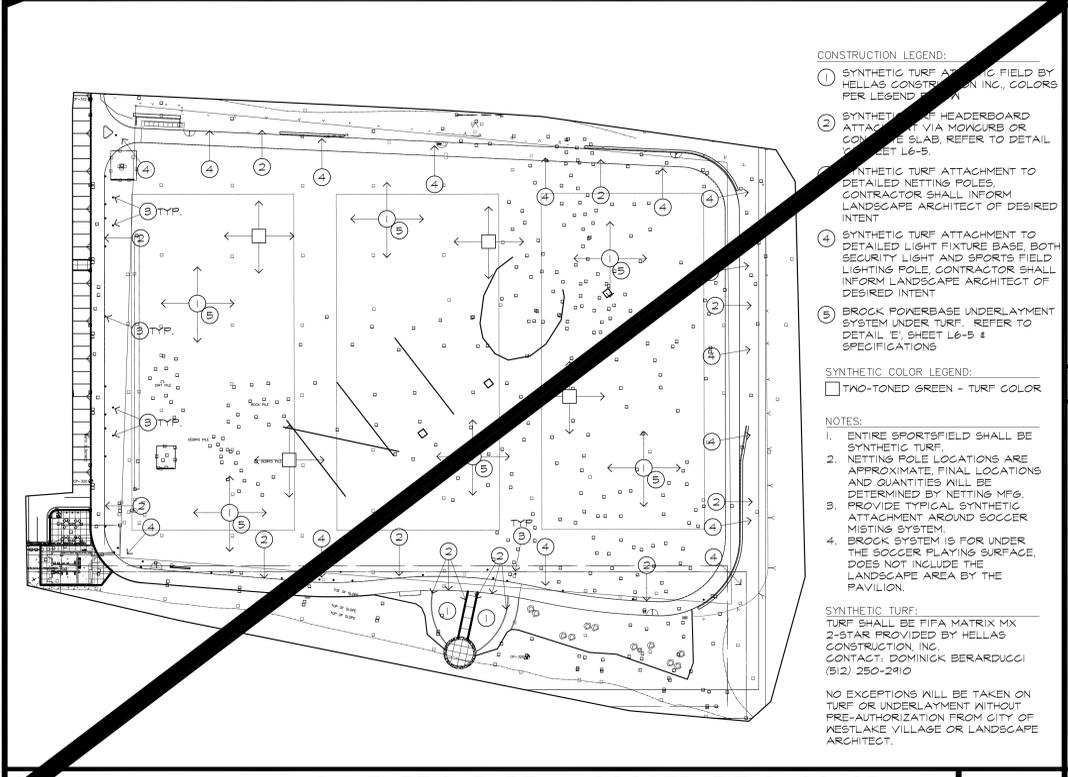


SCHEDULE				
RETAIN HT.	VERT. REBAR	FW	TOE	KD
3'-0"	#4 @ 32" O.C.	2'-0"	8"	0
4'-0"	#4 @ 24" O.C.	2'-9"	12"	9"
5'-0"	#4 @ 24" O.C.	3'-6"	15"	12"
6'-0"	#4 @ 16" O.C.	4'-0"	21"	18"

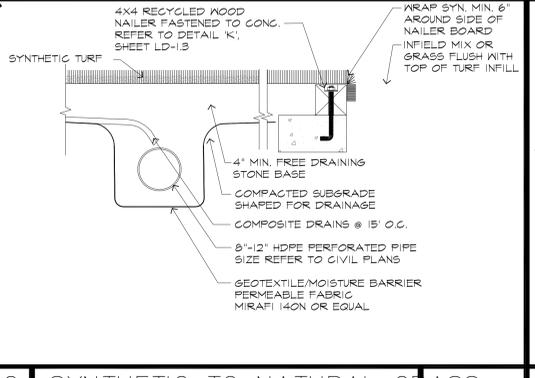
2 RETAINING WALLS 3'-6' (2:1 BACKFILL)



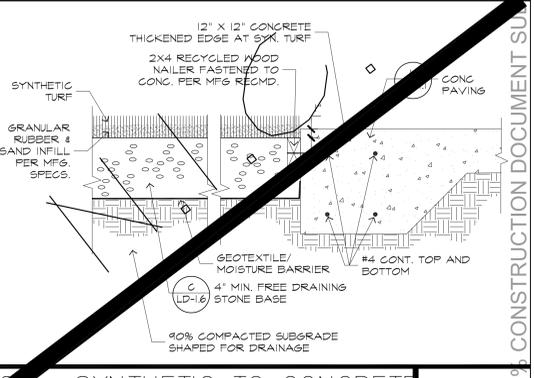
BASEBALL FIELD - SYNTHETIC TURF COLOR NO SCALE



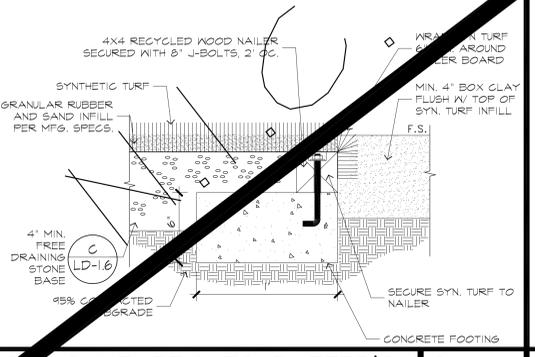
SYNTHETIC TURF - SOCCER FIELD COLOR NO SCALE



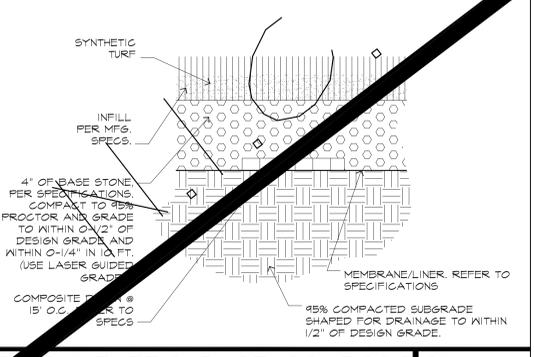
G SYNTHETIC TO NATURAL GRASS NO SCALE



H SYNTHETIC TO CONCRETE NO SCALE



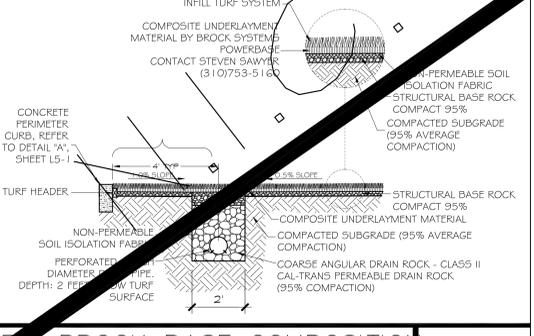
I SYNTHETIC TO BATTER'S BOX NO SCALE



J SYNTHETIC BASE COMPOSITION NO SCALE



K BROCK BASE COMPOSITION NO SCALE



L BROCK BASE COMPOSITION NO SCALE

